

PUBLIC BUILDING COMMISSION OF CHICAGO

CONSTRUCTION MANAGEMENT AT RISK SERVICES FOR AIS CAPITAL IMPROVEMENT PROJECTS

Pre-Submission Conference

February 16, 2022

HOUSEKEEPING ITEMS

While we wait...

Please **MUTE** your computers and/or cellphones

- Press *6 to unmute (if asked to speak)

Please **CHANGE** your screen name

- Use 'Your Name|Company Name (or Initials)'
(EXAMPLE: Patty M | PBC)

Please **WAIT** for Q&A to ask questions

- Q&A session will be at the end of the meeting
- Feel free to use the 'Chat' feature



AGENDA

- 01 Welcome, Introductions & General Overview
- 02 Procurement Timeline & Instructions
- 03 RFP Highlights & Evaluation Criteria
- 04 Overview of Projects
- 05 Q&A

01 Welcome, Introductions, & General Overview

Pre-Construction;
Project Management;
Planning and coordination of all
end user relocations;
Project Control;
Change Management;
Reporting;
Document Management;
Acquisition of Furniture, Fixtures,
and Equipment;
Collection, Review, and Approval
of Shop Drawings, As-Built
Drawings,
Project Warranties;
Commissioning;
and
Close-out.

Construction Management at Risk Services shall provide Construction Management at Risk Services to assist the PBC, the Architect of Record or Engineer of Record (“AOR/EOR”) and AIS with pre-construction activities, coordination, scheduling, development of a complete budget, estimating and budgeting the probable construction costs for each project and at each design milestone, overall management of the design team, and construction planning.

The CM will also be responsible for reviewing the design documents for constructability, identifying possible cost savings, and supporting the PBC and the AOR/EOR to develop a permitting strategy and obtain all necessary permits and approvals

Trade Contract Award & Management

- Manage the bid and award process with PBC concurrence.
- Collaborate with the AOR to assemble bid packages for trade subcontracts to be bid.
- Schedule and administer a public bid opening for each trade subcontract, with the supervision and participation of the PBC.
- Conduct scope reviews
- Strategize to maximize MBE/WBE prime contractors
- Ensure all EEO workforce provisions are achieved



Patricia Montenegro

Deputy Director of Procurement

***02 Procurement Details
& Instructions***

Procurement Details

Document Availability on Current Opportunities Page

<https://www.pbcchicago.com/opportunities/rfp-for-construction-management-at-risk-services-for-air-pershing-project-1-group-8/>

Requests for Information

- Patricia Montenegro,
Contract Officer by email:
patricia.montenegro@cityofchicago.org

Addenda

- None to-date

SOLICITATION DOCUMENT

To download a copy of the RFP DOCUMENT CLICK HERE

RFP FORMS:

- Form A – Technical Specifications and Past Performance
- Form B – Construction Page
- Form C – EEO CRO and CH P
- Form D – Joint Venture Affidavit (Schedule B)
- Form E – Disclosure Affidavit
- Form F – Disclosure of Retained Parties
- Form G – Affidavit of Non-Collusion
- Form H – Safety Information
- Form I – Legal Actions
- Form J – References

RFP EXHIBITS:

- Exhibit A – Insurance Requirements
- Exhibit B – Performance and Payment Bond Specimen
- Exhibit C – Sample Project Community Area Map
- Exhibit D – Assist Agencies

RFP ATTACHMENTS:

- Pershing Road West Building and Tunnel Upgrades
- Project Description
- Cost Model
- Pershing Road West Building and Tunnel Upgrades Attachments

Procurement Details

Timeline

RFP	Wednesday, February 2, 2022
Pre-Submission Conference	Wednesday, February 16, 2022 at 10:30am
Site Visit	Thursday, February 17, 2022 at 9:30am
Questions Deadline	Friday, March 11, 2022 by 4:00pm
Submission Deadline	Tuesday, March 22, 2022 at 11:00am
Interviews	March 28, 2022 through April 1, 2022
Recommendation to PBC Board (tentative)	April 2022

Site Visit

Thursday, February 17, 2022 | 9:30am

Juvenile Intervention and Support Center
3900 S California Ave, Chicago, IL 60632



In order to participate in the walk thru you must do the following:

No Exceptions

- Participants must have proper Personal Protective Equipment (PPE) which includes: **safety vest | hard hat | protective foot wear**
- Visitors must meet at the front of the building at the main entrance

At the conclusion of this site visit, we will proceed to the Pershing Road site visit.

Thursday, February 17, 2022



Pershing Road
West Building & Tunnel
1869 W. Pershing Rd,
Chicago, IL 60609

Pershing Road Center Building
1819 W Pershing Rd
Chicago, IL 60609

Pershing Road East Building
1769 W Pershing Rd
Chicago, IL 60609

Pershing Road Site Visit will commence after the conclusion of the Juvenile Intervention & Support Center site visit.

In order to participate in the walk thru you must do the following:

No Exceptions

- Participants must have proper Personal Protective Equipment (PPE) which includes: **safety vest | hard hat | protective foot wear**
- Visitors to meet between the West and Center building

Procurement Details



**Assist
Agencies**

 PBC ASSIST AGENCIES <small>Assist agencies are chambers of commerce and not-for-profit agencies that represent the interests of small, minority- and/or women-owned businesses. For the most up-to-date contact information, visit pbcchicago.com/doing-business/assist-agencies/</small>		
P.O. Box #19670 Chicago, IL 60619	African American Contractors Association Omar Shareef (312) 915-5960	aacanatlassoc@gmail.com aacanatf.org
12000 S Marshfield Ave Calumet Park, IL 60827	Black Contractors United Carole Williams (708) 389-5730	bcunewera@att.net blackcontractorsunited.com
1633 S Michigan Ave Chicago, IL 60615	CANDO Corporation LaVerne Hall (312) 488-9338	LHall@candocorp.net
800 E 78th St Chicago, IL 60619	Chatham Business Association: Small Business Development, Inc. Melinda Kelly (773) 994-5006	melindakelly@cbaworks.org cbaworks.org
216 West Jackson Boulevard Suite 600 Chicago, IL 60606	Chicago Minority Supplier Development Council Vince Williams (312) 755-2556	info@ChicagoMSDC.org chicagomsgdc.org
4510 S Michigan Ave, 3rd Floor Chicago, IL 60653	Chicago Urban League Jason Johnson (773) 451-3559	jjohnson@thechicagourbanleague.org thechicagourbanleague.org
2444 W 16th St Chicago, IL 60608	Chicago Women in Trades Jayne Vellinga (312) 942-1444	jvellinga@cwit2.org chicagowomenintrades2.org
3825 Edwards Road, #800 Cincinnati, OH 45209	ConstructConnect Amanda Beyer (513) 458-5837, Extension 5108336	amanda.beyer@constructconnect.com ConstructConnect.com
202 S Halsted St Chicago Heights, IL 60411	Construction Business Development Center at Prairie State College Paul Murtagh (708) 709-3692	pmurtagh@prairiestate.edu prairiestate.edu
4210 W Irving Park Rd Chicago, IL 60641	Federation of Women Contractors Jaemie Neely (312) 360-1122	info@fwcchicago.com fwcchicago.com
650 W Lake St, #415 Chicago, IL 60661	Hispanic American Construction Industry Association Juan Calahorrano (312) 575-0389	jcalahorrano@haciaworks.org haciaworks.org
2301 South Lake Shore Drive Lakeside Center, Chicago, IL 60616	HIRE360 Chicago Deborah Whitaker (312) 575-2500	dwhitaker@hire360chicago.com; bids@hire360chicago.com
411 Hamilton Blvd, #1404 Peoria, IL 61602	Illinois Black Chamber of Commerce Kenyatta Fisher (309) 740-4430	larryivory@illinoisblackchamber.org illinoisblackchamber.org
3512 W Fullerton Ave Chicago, IL 60647	Latin American Chamber of Commerce D. Lorenzo Padron (773) 252-5211	d.lorenzopadron@laccusa.com laccusa.com
930 E 50th St Chicago, IL 60615	Rainbow/PUSH Coalition John Mitchell (773) 256-2766	jmitchell@rainbowpush.org rainbowpush.org
1750 E 71st St Chicago, IL 60649	South Shore Chamber, Inc. Tonya Trice (773) 955-9508	ttrice@southshorechamberinc.org southshorechamberinc.org
8 S Michigan Ave, #400 Chicago, IL 60603	Women's Business Development Center Frieda Curry (312) 853-3477	fcurry@wbdc.org wbdc.org
308 Circle Ave Forest Park, IL 60130	Women Construction Owners & Executives Mary Kay Minaghan (708) 366-1250	mkm@mkmservices.com wcoesa.org
1250 Grove Ave, #200 Barrington, IL 60010	U.S. Minority Contractors Association Larry Bullock (847) 852-5010	larry.bullock@usminoritycontractors.org usminoritycontractors.org

Submission Requirements

1 Electronic Copy (via email)

- a single searchable PDF of your entire submission
- Email Subject Line: **'Response to RFP for CMAR Services for AIS Capital Improvement Projects'**
- label PDF file name:
'SU_YourFirms'Initials_CMAR AIS_CIP_RFPresponse_YYYYMMDD'
- email to: patricia.montenegro@cityofchicago.org
- Include Financials
- Organize in Submission Checklist order

Checklist



TAB 1

Contact Information Page (Page 2 of RFP)
Cover Letter
Proposal Acknowledgment and Acceptance (Form B)
Table of Contents

TAB 2

Technical Competence and Past Performance (Form A)
References (Form J)

TAB 3

Project Approach and Methodology

TAB 4

Qualifications and Experience of Key Staff
Resume
Organizational Chart
Licenses and General Information

TAB 5

Disclosure Affidavit (Form E)
Disclosure of Retained Parties (Form F)
Affidavit of Non-Collusion (Form G)
Legal Actions (Form I)

TAB 6

Insurance Certificate
Payment and Performance Bonding Capacity Letter

TAB 7

Safety (Form H)
QA/QC Plan
Sample Project Schedule

TAB 8

MBE/WBE, EEO, CRO, and CH Participation (Form C)
Joint Venture Affidavit (Form E)
Joint Venture Agreement

TAB 9

Cost Form for the Pershing Road West Building and Tunnel Upgrades Project
Cost Form for the Pershing Road East Building Upgrades Project
Cost Form for the Pershing Road East Building Upgrades Project
Cost Form for the Juvenile Intervention and Support Center Project

TAB 10

Financial Statements

Lori Ann Lypson

Chief of Staff

03 RFP Highlights



CONTACT INFORMATION

FIRM NAME:	
CONTACT NAME:	
CONTACT TELEPHONE:	
CONTACT EMAIL:	
ADDRESS:	

Contact Information Cover Letter Table of Contents

Forms

- **Form A** – Technical Competence and Past Performance
- **Form B** – Proposal Acknowledgment and Execution Page
- **Form C** – MBE WBE EEO CRO and CH Participation
- **Form D** – Joint Venture Affidavit (Schedule B)
- **Form E** – Disclosure Affidavit
- **Form F** – Disclosure of Retained Parties
- **Form G** – Affidavit of Non-Collusion
- **Form H** – Safety Information
- **Form I** – Legal Actions
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SOI / RFP DOCUMENT

To view a copy of the RFP DOCUMENT [CLICK HERE](#)

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- [Form J – References](#)

RFP EXHIBITS:

- [Exhibit A – Insurance Requirements](#)
- [Exhibit B – Performance and Payment Bond Specimen](#)
- [Exhibit C – Sample Project Community Area Map](#)
- [Exhibit D – Assist Agencies](#)

RFP ATTACHMENTS:

- [Pershing Road West Building and Tunnel Upgrade](#)
- [Project Description](#)
- [RFP Attachments](#)
- [Pershing Road West Building and Tunnel Upgrades Attachments](#)

Form - A

Technical Competence & Past Performance



SUBMITTING FIRM NAME:	
------------------------------	--

Instructions: Please complete a form for each project identified. A total of three (3) projects is required. Firms submitting as joint venture partners must complete forms for each respective partner.

PROJECT NO. _____			
Project Name:			
Project Type:	<input type="checkbox"/> New Construction <input type="checkbox"/> Renovation <input type="checkbox"/> Both <input type="checkbox"/> Other: _____		
Agency/Client:			
Agency Type:	<input type="checkbox"/> Public <input type="checkbox"/> Private	Respondent's Role:	<input type="checkbox"/> Construction Manager at Risk <input type="checkbox"/> Design Builder <input type="checkbox"/> General Contractor <input type="checkbox"/> Sub Contractor <input type="checkbox"/> Other: _____

PROJECT NARRATIVE

For lengthier Project Narrative Descriptions, please attach a Narrative Statement for each Project identified. Please ensure to label accordingly. Please limit additional Narrative Descriptions to one (1) page.

Form - A

Technical Competence & Past Performance



Roles and Responsibilities: Please describe your firm's role and responsibilities (i.e., did your Firm self-perform any construction work? If so, please describe. If not, did your Firm provide management and supervision only? If your Firm provided management and supervision only, please describe all work/trade activities that were managed and or supervised)	
Notice to Proceed Issuance Date	
Contractual Substantial Completion Date (as required by the NTP)	
Actual Substantial Completion Date	
Final Acceptance Date	
Original Awarded Contract Value	
Adjusted Contract Value at Substantial Completion (Please explain any variances):	
Final Adjusted Contract Value (Please include brief summaries of all Project Change Orders):	\$
Was Project Completed in accordance with the Notice to Proceed? (If no, please explain):	<input type="checkbox"/> Yes <input type="checkbox"/> No
Did Project receive LEED Certification?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not applicable
If applicable, what was the level of LEED Certification?	
Describe Project Permitting Requirements: Please identify types of permits, the city/town/village and permitting authorities that issued the permits	
Types of Permits:	<input type="checkbox"/> New Construction - standard plan review <input type="checkbox"/> Renovation – standard plan review <input type="checkbox"/> AOR Self-Certification <input type="checkbox"/> Contractor trade permits – short forms including electrical only <input type="checkbox"/> Other: _____
City/Town/Village, State:	
Permitting Authorities:	

Key Staff Organizational Chart



A. ACKNOWLEDGMENT – The Contractor hereby acknowledges receipt of the Request for Proposal for Construction Management Services for the AIS Capital Improvement Program including, but not limited to the Forms and Exhibits.

B. ADDENDA (if any) – Please acknowledge your receipt of addendums by providing the Date of Addendum in the corresponding Addendum Number column.

Addendum Number	Date of Addendum
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

C. PROPOSAL EXECUTION

IN WITNESS WHEREOF, the parties hereto have caused this instrument to be executed in the day and year listed below.

CONSTRUCTION MANAGER AT RISK _____
Name of Construction Management Firm, Team, or Joint Venture

Name of President or Authorized Designee

Name of President or Authorized Designee
(by JV Partner, if required)

Authorized Signature

Authorized Signature

Date

Date

Form - B Proposal Acknowledgment & Execution Page

Project Approach

- Pre-Construction
- Bidding/
Procurement
- Construction



Form - C

MBE/WBE

EEO CRO and CH Participation



SUBMITTING FIRM NAME:

Instructions:

Please identify and report compliance history for last three (3) projects completed over the last three (3) years for which work is/was performed by your firm (government experience preferred but not required). The experience of any member of the Respondent's team will be deemed responsive to this requirement (lead partners experience preferred.) Additionally, please complete the "Demonstrate Commitment" section below.

DEMONSTRATE COMMITMENT

The PBC may host outreach sessions, networking events, and community hiring intakes where the Respondent is expected to fully participate.

MBE/WBE

Respondent must demonstrate commitment by affirming and acknowledging the PBC's MBE/WBE goals. If Respondent is not able to commit to the MBE/WBE goal stated in the RFP, please submit a narrative requesting relief and explaining why Respondent believes that the goals cannot be achieved.

EEO, CRO, and CH

Respondent must demonstrate commitment by affirming and acknowledging the PBC's commitment to employ minority and women journeyworkers, apprentices, and laborers along with local/community residents on goals for each Project. If Respondent is not able to commit to EEO, CRO, and CH stated in the RFP, please submit a narrative requesting relief and explaining why Respondent believes that the goals cannot be achieved.

DEMONSTRATE COMMITMENT

MBE/WBE EEO CRO and CH Participation



PROJECT ONE	
Client Name:	
Client Contact:	
Client Contact Telephone:	
Project Name:	
Project Total:	
Year Completed:	

MBE/WBE PARTICIPATION

Respondent must provide evidence of past experience achieving commitments to utilize minority and women owned business enterprises. Please fill in the boxes below.

MBE Goal	WBE Goal	Actual MBE	Actual WBE
%	%	%	%

EEO, CRO, and CH PARTICIPATION

Respondent must provide evidence of past experience achieving commitments to utilize minority and women journeymen, apprentices, and laborers. Additionally, Respondent must provide history of meeting city of Chicago (CRO) requirements and community hiring (CH) requirements. Please fill in the boxes below.

Minority Workforce					
Minority Journeyworker Goal	Minority Journeyworker Actual	Minority Apprentice Goal	Minority Apprentice Actual	Minority Laborer Goal	Minority Laborer Actual
%	%	%	%	%	%

Female Workforce					
Female Journeyworker Goal	Female Journeyworker Actual	Female Apprentice Goal	Female Apprentice Actual	Female Laborer Goal	Female Laborer Actual
%	%	%	%	%	%

City of Chicago and Community Hiring Workforce			
City of Chicago Goal	City of Chicago Actual	Community Hiring Goal	Community Hiring Actual
%	%	%	%



Compliance Certification

- PBC ensures that only certified and experienced firms perform the required services.
- MBE or WBE firms must be certified with the **City of Chicago and/or Cook County** to receive credit as an MBE/WBE firm by the PBC.
- **26%** MBE/WBE



Compliance – City Residency & Community Hiring

- ✓ **City Residency Requirement:** at least **50%** of the total construction hours worked on project must be worked by City of Chicago residents
- ✓ **Community Hiring goal:** at least **7.5%** of the total construction hours worked on project must come from Community Area residents. PBC encourages the creation of career opportunities for residents of a project's surrounding community areas, both in the construction trades, as well as skilled and unskilled workers
- ✓ **Community Intake Sessions:** PBC and Successful Respondent will work together to locate viable candidates in the designated Community Area(s)



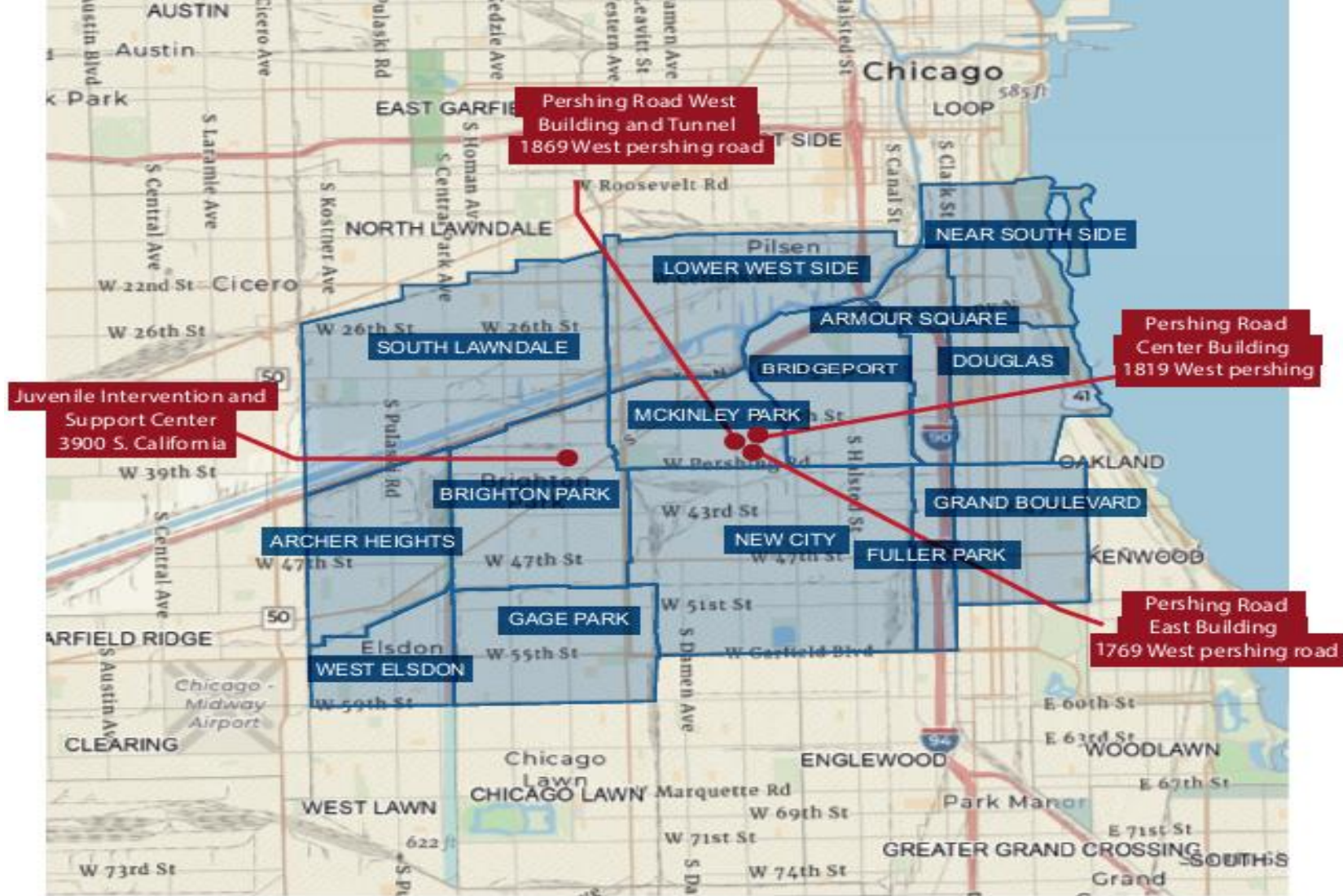
Compliance: Community Hiring Areas

Software

- LCP Tracker
- B2G Now

Prevailing Wages

- City of Chicago Executive Order 2014-1



Construction Management At Risk Services For AIS Capital Improvement Projects

- AIS Capital Improvement Projects
- Community Areas

Minority Journeyworker Project employment goal:
 Minority Laborer Project employment goal:
 Minority Apprentice Project employment goal:
 Female Journeyworker Project employment goal:
 Female Laborer Project employment goal:
 Female Apprentice Project employment goal:

50% or more of total Journeyworker hours
 30% or more of total Laborer hours
 20% or more of total Apprentice hours
 1% or more of total Journeyworker hours
 0% or more of total Laborer hours
 1% or more of total Apprentice hours

A. Basis of Award (Award Criteria Figure)

To promote the intended goal of economic opportunity and maximize the use of minority personnel on this project, the Public Building Commission of Chicago has established the Award Criteria Figure formula for the purpose of evaluating proposals and awarding the contract. A contract in the amount of the Total Base Proposal (or Base Contract Price) will be awarded to the responsible bidder with the lowest Award Criteria Figure pursuant to Section III.P Basis of Award above. The Public Building Commission of Chicago reserves the right to check all calculations for accuracy. The fulfillment of the Award Criteria does not abrogate the responsibilities of the Contractor to comply with federal and state requirements under the Equal Employment Act and the Illinois Human Rights Act.

1. Instructions

The Bidder shall complete the Award Criteria Figure Formula and transfer the final Award Criteria Figure - Line 15 to the space provided on the itemized proposal sheet. Failure to complete the formula may be cause for rejection of the Bidder's proposal. The successful bidder will be held responsible for adhering to the figures submitted in Lines 1, 2, 4, 6, 8, 10 and 12 during construction of the project.

Lines 2, 4 and 6 in the formula shall not be greater than seventy percent (70%) in each category for the sole purpose of determining award of the contract. Similarly, lines 8, 10 and 12 shall not be greater than fifteen percent (15%) in each category for the purpose of award criteria only. The seventy percent (70%) and fifteen percent (15%) goals are not intended to restrict the total number of minority and female employees to be used on the project, but only to establish limiting figures for use in the formula.

2. Award Criteria Figure Formula

Line 1.	Total Base Proposal (Refer to Line 9 of FORM I - PROPOSED ADJUSTMENT FACTORS), in figures	TBD
Line 2.	Percentage of the Journeyworkers hours that the Contractor proposes to be worked by minority Journey workers during construction of the project. (Maximum figure 0.70)	0.50
Line 3.	Multiply Line 2 by Line 1 by 0.04	TBD
Line 4.	Percentage of total Apprentice hours that the Contractor proposes to be worked by minority Apprentices during construction of the project. (Maximum figure 0.70)	0.10
Line 5.	Multiply Line 4 by Line 1 by 0.03	TBD
Line 6.	Percentage of the total Laborer hours that the Contractor proposes to be worked by minority Laborers during construction of the project. (Maximum figure 0.70)	0.50
Line 7.	Multiply Line 6 by Line 1 by 0.01	TBD
Line 8.	Percentage of total Journeyworker hours that the Contractor proposes to be worked by female Journeyworkers during the construction of the project. (Maximum figure 0.15)	.01
Line 9.	Multiply Line 8 by Line 1 by 0.04	TBD
Line 10.	Percentage of total Apprentice hours that the Contractor proposes to be worked by female Apprentices during construction of the project	

EEO Contract Provisions



Form - D

Joint Venture Affidavit

(Schedule B)

SCHEDULE B - Joint Venture Affidavit (1 of 3)

This form is not required if all Joint Venturers are MBE/Non-MBE or WBE/Non-WBE firms. In such case, however, a written Joint Venture Agreement among the MBE/Non-MBE or WBE/Non-WBE firms should be submitted. Each MBE/WBE Joint Venturer must also attach a copy of their current certification letter.

A. Name of Joint Venture _____

B. Address of Joint Venture _____

C. Phone number of Joint Venture _____

D. Identify the firms that comprise the Joint Venture

1. Describe the role(s) of the MBE/WBE firm(s) in the Joint Venture. (Note that a "clearly defined portion of work" must here be shown as under the responsibility of the MBE/WBE firm.)

2. Describe very briefly the experience and business qualifications of each non-MBE/WBE Joint Venturer.

E. Nature of Joint Venture's business

F. Ownership: What percentage of the Joint Venture is claimed to be owned by MBE/WBE? _____ %

G. Specify as to:

1. Profit and loss sharing _____ %

2. Capital contributions, including equipment _____ %

3. Other applicable ownership interests, including ownership options or other agreements which restrict ownership or control.



Joint Ventures

Include:

- + Schedule B (Form D)
- + Joint Venture Agreement
- + Certification Letter, if MBE/WBE



Form - E

Disclosure Affidavit

FORM E – DISCLOSURE AFFIDAVIT

SUBMITTING FIRM NAME: _____

I. HISTORY AND OWNERSHIP OF RESPONDENT FIRM

Any firm proposing to conduct any business transactions with the Public Building Commission of Chicago must complete this Disclosure Affidavit. Please note that in the event the Contractor is a joint venture, the joint venture and each of the joint venture partners must submit a completed Disclosure Affidavit.

The undersigned _____ as _____

Name Title

and on behalf of _____
 ("Bidder/Proposer/Respondent or Contractor") having been duly sworn under oath certifies the following:

RESPONDENT	
Name of Firm:	_____
Address:	_____
City/State/Zip:	_____
Telephone:	Facsimile: _____
FEIN:	SSN: _____
Email:	_____
Nature of Transaction:	
<input type="checkbox"/> Sale or purchase of land <input type="checkbox"/> Construction Contract <input type="checkbox"/> Professional Services Agreement <input type="checkbox"/> Other _____	

II. DISCLOSURE OF OWNERSHIP INTERESTS

Pursuant to Resolution No. 5371 of the Board of Commissioners of the Public Building Commission of Chicago, all Bidders/Proposers shall provide the following information with their Bid/Proposal. If the question is not applicable, answer "NA". If the answer is none, please answer "none".

- | | |
|--|--|
| <input type="checkbox"/> Corporation | <input type="checkbox"/> Limited Liability Company |
| <input type="checkbox"/> Partnership | <input type="checkbox"/> Limited Liability Partnership |
| <input type="checkbox"/> Sole Proprietorship | <input type="checkbox"/> Not-for-profit Corporation |
| <input type="checkbox"/> Joint Venture | <input type="checkbox"/> Other: _____ |

Form - F

Disclosure Of Retained Parties

FORM F – DISCLOSURE OF RETAINED PARTIES

Disclosure of Retained Parties

Pursuant to the Public Building Commission (PBC) Code of Ethics found on the PBC website at https://www.pbcchicago.com/wp-content/uploads/2017/05/RES_PBC_ecc_CodeofEthicsConsoApril-2013_20130405.pdf, a firm is required to submit a fully executed Disclosure of Retained Parties.

A. Definitions and Disclosure Requirements

- As used herein, "Contractor" means a person or entity that has any contract or lease with the Public Building Commission of Chicago ("Commission").
- Commission contracts and/or qualification submittals must be accompanied by a disclosure statement providing certain information about any lobbyists whom the Contractor has retained or expects to retain with respect to the contract or lease. In particular, the Contractor must disclose the name of each such person, his or her business address, the name of the relationship, and the amount of fees paid or estimated to be paid. The Contractor is not required to disclose employees who are paid solely through the Contractor's regular payroll.
- "Lobbyists" means any person who a) for compensation or on behalf of any person other than himself undertakes to influence any legislative or administrative action, or b) any part of whose duties as an employee of another includes undertaking to influence any legislative or administrative action.

B. Certification

Contractor hereby certifies as follows:

- This Disclosure relates to the following transaction: _____
 a. Description of goods or services to be provided under Contract

- Name of Contractor: _____
- EACH AND EVERY lobbyist retained or anticipated to be retained by the Contractor with respect to or in connection with the contract or lease is listed below. Attach additional pages if necessary.
 Check here if no such persons have been retained or are anticipated to be retained: _____

Retained Parties:

Name	Business Address	Relationship (Lobbyists, etc.)	Fees (indicate whether paid or estimated)

Form - G

Affidavit of Non-Collusion

FORM G – AFFIDAVIT OF NON-COLLUSION

Affidavit of Non-Collusion

STATE OF ILLINOIS }
 COUNTY OF COOK } SS

_____, being first duly sworn, deposes and says that:
 (Authorized Agent for Firm or Joint Venture)

1. He/She is

 (Title - Owner, Officer, Joint Venture Partner, Representative or Agent) of

 the Bidder/Proposer that has submitted the attached Bid/Proposal (name of entity submitting);

- That Bidder/Proposer is fully informed respecting the preparation and contents of the attached Bid/Proposal and of all pertinent circumstances respecting such Bid/Proposal;
- Such Bid/Proposal is genuine and is not a collusive or sham Bid/Proposal;
- Neither Bidder/Proposer nor any of its officers, partners, owners, agents, representatives, employees, or parties in interest, including this affiant, has in any way colluded, connived, conspired, or agreed, directly or indirectly, with any other Bidder/Proposer, firm, or person to submit a collusive or sham bid/proposal in connection with the Contract for which the attached Bid/Proposal has been submitted or to refrain from bidding/proposing in connection with such Contract, or has in any manner, directly or indirectly, sought by agreement or collusion or communication or conference with any other Bidder/Proposer, firm, or person to fix the price or prices in the attached bid/proposal or in that of any other Bidder/Proposer, or to fix any overhead, profit, or cost element of the bid price of any other Bidder/Proposer, or to secure through any collusion, conspiracy, connivance or unlawful agreement any advantage against the Public Building Commission of Chicago or any person interested in the proposed Contract; and
- The price or prices quoted in the attached Bid/Proposal are fair and proper and are not tainted by any collusion, conspiracy, connivance, or unlawful agreement on the part of the Bidder/Proposer or any of its agents, representatives, owners, employees, or parties in interest, including this affiant.
- The Bidder/Proposer is not barred from bidding/proposing as a result of having violated Illinois Criminal Code, 720 ILCS 5/33E-3 (Bid-rigging), 720 ILCS 5/33E-4 (Bid rotating) or the Prevailing Wage Act, 30 ILCS 570/0.01 through 570/7.

Name of Affiant _____ Signature of Affiant _____

Title _____ Date _____

Subscribed and sworn to before me this _____ day of _____ 20 _____

Notary Public Name _____ Notary Public Signature _____

Commission Expires: _____ (SEAL)



Exhibit A

EXHIBIT A – INSURANCE REQUIREMENTS

CITY OF CHICAGO ASSETS INFORMATION AND SERVICES (AIS) CAPITAL IMPROVEMENT PROJECTS

The insurance requirements listed below are the minimum requirements that will be required for work issued on a contract resulting from this Procurement. The actual requirements for the project may be higher and will be determined based on the scope and the requirements as determined in collaboration with the User Agency as determined after award. As noted in this Procurement, Respondent is to submit a certificate of insurance evidencing their current insurance program.

The Contractor must provide and maintain at Contractor's own expense, the minimum insurance coverage and requirements specified below, insuring all operations related to the Contract. The insurance must remain in effect from the date of the Notice to Proceed until Substantial Completion of the project, during completion of Punch List, as well as any time Contractor returns to perform additional work regarding warranties or for any other purpose, unless otherwise noted below or agreed by the Public Building Commission's Risk Management.

A. INSURANCE TO BE PROVIDED

1) Workers' Compensation and Employers Liability (Primary and Umbrella)

Workers' Compensation Insurance as prescribed by applicable law covering all employees who are to provide a service under this Contract and Employers Liability coverage with limits of not less than \$1,000,000 each accident, illness or disease. Coverage will include a waiver of subrogation as required below.

2) Commercial General Liability (Primary and Umbrella)

Commercial General Liability Insurance or equivalent with limits of not less than \$5,000,000 per occurrence for bodily injury, personal injury, and property damage liability. Coverage must include the following: All premises and operations, products/completed operations to be maintained for minimum of two (2) years following project completion, explosion, collapse, underground hazards, defense and contractual liability. Contractor and all subcontractors of every tier **will specifically name** the Public Building Commission of Chicago, the City of Chicago, the City of Chicago Department of Assets, Information, and Services, and each of their respective Board members, employees, elected officials, officers, or representatives, along with any other User Agency or others, as may be required by the Public Building Commission of Chicago, as Additional Insured using the latest version of the ISO CG2010 and CG2037. Additional Insured status will be on a primary, non-contributory basis for any liability arising directly or indirectly from the work, including the two year completed operations periods. Coverage will include a waiver of subrogation as required below.

Subcontractors performing work for Contractor must maintain limits of not less than \$1,000,000 per occurrence with the same terms herein.

3) Automobile Liability (Primary and Umbrella)

When any motor vehicles (owned, non-owned and hired) are used in connection with work to be performed, the Contractor must provide Automobile Liability Insurance, with limits of not less than \$1,000,000 per occurrence for bodily injury and property damage. The Public Building Commission of Chicago, the City of Chicago, the City of Chicago Department of Assets, Information, and Services, and each of their respective Board members, employees, elected officials, officers, or representatives, along with any other User Agency or others, as may be required by the Public Building Commission of Chicago, are to be named as Additional Insured on a primary, non-contributory basis.

Subcontractors performing work for Contractor must maintain limits of not less than \$1,000,000 per occurrence with the same terms herein.

4) Contractors Pollution Liability

Contractors Pollution coverage is required with limits of not less than \$2,000,000 per occurrence for any portion of the services, which may entail, exposure to any pollutants, whether in the course of sampling, remedial work or any other activity under this contract. The contractor pollution liability policy will provide coverage for sums that the insured become legally obligated to pay as loss as a result of claims for bodily injury, property damage and/or clean-up costs caused by any pollution incident arising out of the Work including remediation operations, transportation of pollutants, owned and non-owned disposal sites and any and all other activities of Contractor and its subcontractors. Pollution incidents will include, but not be limited to, the discharge, dispersal, release or escape of any solid, liquid, gaseous or thermal irritant or contaminant, including but not limited to smoke, vapors, soot, fumes, acids, alkalis, toxic chemicals, medical waste, waste materials, lead, asbestos, silica, hydrocarbons and microbial matter, including fungi, bacterial or viral matter which reproduces through release of spores or the splitting of cells or other means, including but not limited to, mold, mildew and viruses, whether or not such microbial matter is living.

The policy will be maintained for a period of three years after final completion and include completed operations coverage. The policy will include the Public Building Commission of Chicago, the City of Chicago, the City of Chicago Department of Assets, Information, and Services, and each of their respective Board members, employees, elected officials, officers, or representatives, along with any other User Agency or others, as may be required by the Public Building Commission of Chicago, as Additional Insured. These entities must be specifically named

Exhibit B

EXHIBIT B – PERFORMANCE AND PAYMENT BOND

Performance and Payment Bond

BOND NO. SPECIMEN

Contract No. SPECIMEN

KNOW ALL MEN BY THESE PRESENTS, that we _____

with offices in the _____ State of _____
as _____ Principal, and _____

a corporation organized and existing under the laws of the State of _____, with offices in the State of Illinois as Surety, are held and firmly bound unto the Public Building Commission of Chicago, hereinafter called "Commission", in the penal sum of _____ Dollars (\$ _____) for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, and successors, jointly and severally, firmly by these presents.

The condition of this obligation is such, that whereas the Principal entered into a certain Contract, hereto attached, with the Commission, dated _____, 20____, for the furnishing, fabrication, delivery and installation of the

in the referenced project area and other miscellaneous work collateral thereto.

NOW, THEREFORE, if the Principal shall well and truly perform and fulfill all the undertakings, covenants, terms, conditions, and agreements of said Contract during the original term of said Contract and any extension thereof that may be granted by the Commission, with or without notice to the Surety, and during the life of any guarantee required under the Contract, and shall also well and truly perform and fulfill all the undertakings, covenants, terms, conditions and agreements of any and all authorized modifications of said Contract that may be made; and also if the Principal shall promptly pay all persons, firms, and corporations supplying labor, materials, facilities, or services in the prosecution of the work provided for in the Contract, and any and all duly authorized modifications of said Contract that may be made, notice of which modifications being hereby waived; and also, if the Principal shall fully secure and protect the said Commission, its legal successor and representative, from all liability in the premises and from all loss or expense of any kind, including all costs of court and attorney's fees, made necessary or arising from the failure, refusal, or neglect of the aforesaid Principal to comply with all the obligations assumed by said Principal or any subcontractors in connection with the performance of said Contract and all such modifications thereof; and also, if the Principal shall deliver all Work called for by said Contract of the Principal with the Commission, free and clear of any and all claims, liens and expenses of any kind or nature whatsoever, and in accordance with the terms and provisions of said Contract, and any and all modifications of said Contract; then, this said Bond shall become null and void; otherwise it shall remain in full force and effect.

The Surety does further hereby consent and yield to the jurisdiction of the State Civil Courts of the County of Cook, City of Chicago, and State of Illinois, and does hereby formally waive any plea of jurisdiction on account of the residence elsewhere of the Surety. The Principal and Surety

Insurance & Bonding

Form - H

Safety Information


SUBMITTING FIRM NAME:

Respondents should be able to demonstrate the quality of their overall safety program as evidenced by their history of citations, OSHA incident rate and Experience Modification Rate (EMR).

SAFETY INFORMATION
Does your organization have a safety program?
 Yes No

Month and year first implemented or last updated:
Program compliance and implementation strategy:
Please indicate whether onsite safety meetings are held and how frequently.
PLEASE PROVIDE A COPY OF THE TABLE OF CONTENTS FROM YOUR FIRM'S SAFETY/LOSS CONTROL MANUAL
Have any citations been issued to your organization during the period of the last three years for workplace safety law violation?
 Yes No

If yes, please provide detailed information for each occurrence regarding:

1. The nature of the violation for which your organization was cited.

2. Summary of your position on the matter

3. Official resolution of violation

Please provide your organization's OSHA reportable incident rate in the box:
(If this is greater than 3.0, please attach your OSHA Form 300A Summaries for the last three years and a written explanation to the qualification questionnaire. Please explain below or attach Narrative Statement, if necessary.)
Please provide a copy of your organization's National Council on Compensation Insurance ("NCCI") current Experience Modification Rate ("EMR"). If EMR rate this is greater than 3.0, please attach your OSHA Form 300A Summaries for the last three years and a written explanation to the qualification questionnaire. Please explain below or attach Narrative Statement, if necessary.)

Form - H

Safety Information



PLEASE PROVIDE NCCI RATING FOR THE PAST FOUR YEARS

Year	NCCI Rating	Year	NCCI Rating

PLEASE DESCRIBE IN DETAIL YOUR FIRM'S COVID-19 PROTOCOLS



QA/QC Plan & Sample Project Schedule

Activities				
Layout: Classic Schedule Layout				Filter: All Activities
Activity ID	Activity Name	Original Duration	Start	End
250	Ceramic Tiles	20	03-9	03-9
First Floor		60	17-9	17-9
260	Masonry Works	20	17-9	17-9
270	Plaster Works	20	15-0	15-0
	Ceramic Tiles	20	12-M	12-M
		60	26-M	26-M
	Masonry Works	20	26-M	26-M
	Plaster Works	20	24-D	24-D
	Ceramic Tiles	20	21-J	21-J
		60	21-J	21-J
	Masonry Works	20	21-J	21-J
	Plaster Works	20	18-F	18-F
	Ceramic Tiles	20	18-M	18-M
		60	15-A	15-A
350	Masonry Works	20	15-A	15-A
360	Plaster Works	20	13-M	13-M
370	Ceramic Tiles	20	10-J	10-J
Final Finishes		260	03-9	03-9
Ground Floor		60	03-9	03-9
380	Paint works	30	03-9	03-9
390	Metal works	30	15-0	15-0
400	Doors and Windows	30	15-0	15-0

FORM I – LEGAL ACTIONS

SUBMITTING FIRM NAME:

Instructions: Please answer all questions below. **Each question must be answered.** If the answer to any of the questions below is **YES**, you must provide a type-written, brief description, and/or explanation in the space provided or include a Narrative Statement following this page. Incomplete supplemental information may deem your response non-responsive. Firms submitting as joint venture partners must complete forms for each respective partner.

QUESTIONS		Yes	No
1	Has the firm or joint venture been issued a notice of default on any contract awarded to it in the last 3 years? If yes to this question, please provide an explanation.	<input type="checkbox"/>	<input type="checkbox"/>
2	Has the firm or joint venture been issued a notice to cure on any contract awarded to it in the last 3 years? If yes to this question, please provide an explanation.	<input type="checkbox"/>	<input type="checkbox"/>
3	Does the firm or joint venture have any legally filed judgments, claims (liquidated damages for time, or other), arbitration proceedings or suits pending or outstanding against the firm, joint venture, or its officers? If yes to this question, please provide an explanation that includes the project name, timeline, agency, case summary, and whether or not the case is active.	<input type="checkbox"/>	<input type="checkbox"/>
4	Within the past 3 years has the firm or joint venture been a party to any lawsuits or arbitration proceedings with regard to any contracts? If yes to this question, please provide an explanation.	<input type="checkbox"/>	<input type="checkbox"/>
5	Within the last 3 years, has any officer or principal of the firm or joint venture ever been an officer or principal of another organization that failed to complete any contract as a result of termination, litigation, arbitration or similar matter? If yes to this question, please provide an explanation.	<input type="checkbox"/>	<input type="checkbox"/>
6	Has any key person with the firm or joint venture or its predecessor ever been convicted of or charged with any state or federal crime (excluding traffic violations), including but not limited to, embezzlement, theft, forgery, bribery, falsification or destruction of records, receipt of stolen property, criminal anti-trust violations, bid-rigging or bid-rotating? If yes to this question, please provide an explanation.	<input type="checkbox"/>	<input type="checkbox"/>
7	Has the firm or joint venture ever been temporarily or permanently debarred from contract award by any federal, state, or local agency? If yes to this question, please provide an explanation.	<input type="checkbox"/>	<input type="checkbox"/>
8	Within the last 3 years, has the firm or joint venture been investigated or assessed penalties for any statutory or administrative violations (including but not limited to MBE, WBE, EEOC violations – EEO liquidated damages) If yes to this question, please provide an explanation that includes the project name, agency, and dollar amount of penalty.	<input type="checkbox"/>	<input type="checkbox"/>
9	Has the firm or joint venture ever failed to complete any work awarded to it? (ie. not met Milestones, Substantial Completion)? If yes to this question, please provide an explanation.	<input type="checkbox"/>	<input type="checkbox"/>

Form - I

Legal Actions



Form - J

References

FORM J – REFERENCES

SUBMITTING FIRM NAME:

Instructions: Firms must provide at least three (3) references for the projects presented as a part of the firm’s demonstrated experience and capacity. Please indicate the name of the company for which each reference is tendered in the *Reference Firm Name* box. Firms may submit more than the minimum number of required references or submit Reference Letters in lieu of completing this form. However, if submitting Reference Letters, the minimum information requested below must be provided in the letter. Please mark with “X” in the ‘*See Attached Reference Letter*’ space provided. Current Employees of the Public Building Commission of Chicago are prohibited from being included as valid references. Firms submitting as Joint Venture partners must complete forms for each respective partner.

Give us



REFERENCES

PROJECT ONE NAME:

Reference Firm Name:	<input type="text"/>	Phone:	<input type="text"/>
Reference Name:	<input type="text"/>	Email Address:	<input type="text"/>
Reference Title/Role on Project:	<input type="text"/>	Mailing Address:	<input type="text"/>
Submitting Firm’s Role on Project (ie. GC, DB, CM, AOR):	<input type="text"/>	Check this box if there is an attached Reference Letter:	<input type="checkbox"/>

**REQUEST FOR PROPOSAL FOR CONSTRUCTION MANAGEMENT AT RISK SERVICES
FOR AIS CAPITAL IMPROVEMENT PROJECTS
COST FORM**

GUARANTEED MAXIMUM PROJECT COST PROPOSAL

PSXXXX: Juvenile Intervention and Support Center

Cost Forms

DESCRIPTION	COST
1. General Conditions	\$TBD
2. Payment and Performance Bond & Insurance	
Payment and Performance Bond	\$TBD
Insurance	\$TBD
Insurance	\$TBD
	\$TBD
3. Construction (A+B)	
A. TOTAL Pre-Construction Services ¹	\$TBD
B. Cost of the Work ¹ (Cost of Construction + Allowances + CM Contingency + Commission's Contingency)	\$TBD
Cost of Construction	\$TBD
Site Work Allowance	\$TBD
Environmental Allowance	\$TBD
CM's Contingency	\$TBD
Commission's Contingency	\$TBD
TOTAL Cost of Work (B)	\$TBD
4. Construction Manager's Fee (percentage of the total value of line 3) <input type="text" value=""/> %	\$TBD
5. The Guaranteed Maximum Project Cost Proposal will be the values of Lines 1 + 2 + 3 + 4	\$TBD

¹ Indicates values to be included in the MBE/WBE calculation (Line 3 – Construction)

² Unused portions of all funds will be returned to the Project's budget and ultimately, the City of Chicago (AIS)

Signature:

Date:

Cost Forms

REQUEST FOR PROPOSAL FOR CONSTRUCTION MANAGEMENT AT RISK SERVICES
FOR AIS CAPITAL IMPROVEMENT PROJECTS

COST FORM

GUARANTEED MAXIMUM PROJECT COST PROPOSAL

PSXXXX: Pershing Road – Pershing West Building and Tunnel Upgrades

REQUEST FOR PROPOSAL FOR CONSTRUCTION MANAGEMENT AT RISK SERVICES
FOR AIS CAPITAL IMPROVEMENT PROJECTS

COST FORM

GUARANTEED MAXIMUM PROJECT COST PROPOSAL

PSXXXX: Pershing Road – East Building Upgrades

REQUEST FOR PROPOSAL FOR CONSTRUCTION MANAGEMENT AT RISK SERVICES
FOR AIS CAPITAL IMPROVEMENT PROJECTS

COST FORM

GUARANTEED MAXIMUM PROJECT COST PROPOSAL

PSXXXX: Pershing Road – Center Building Upgrades

DESCRIPTION	COST
1. General Conditions	\$TBD
2. Payment and Performance Bond & Insurance	
Payment and Performance Bond	\$TBD
Insurance	\$TBD
	\$TBD
3. Construction (A+B)	
A. TOTAL Pre-Construction Services ¹	\$TBD
B. Cost of the Work ¹ (Cost of Construction + Allowances + CM Contingency + Commission's Contingency)	\$TBD
Cost of Construction	\$TBD
Site Work Allowance	\$TBD
Environmental Allowance	\$TBD
CM's Contingency	\$TBD
Commission's Contingency	\$TBD
TOTAL Cost of Work (B)	\$TBD
4. Construction Manager's Fee (percentage of the total value of line 3) <input type="text"/> %	\$TBD
5. The Guaranteed Maximum Project Cost Proposal will be the values of Lines 1 + 2 + 3 + 4	\$TBD

DESCRIPTION	COST
1. General Conditions	\$TBD
2. Payment and Performance Bond & Insurance	
Payment and Performance Bond	\$TBD
Insurance	\$TBD
	\$TBD
3. Construction (A+B)	
A. TOTAL Pre-Construction Services ¹	\$TBD
B. Cost of the Work ¹ (Cost of Construction + Allowances + CM Contingency + Commission's Contingency)	\$TBD
Cost of Construction	\$TBD
Site Work Allowance	\$TBD
Environmental Allowance	\$TBD
CM's Contingency	\$TBD
Commission's Contingency	\$TBD
TOTAL Cost of Work (B)	\$TBD
4. Construction Manager's Fee (percentage of the total value of line 3) <input type="text"/> %	\$TBD
5. The Guaranteed Maximum Project Cost Proposal will be the values of Lines 1 + 2 + 3 + 4	\$TBD

DESCRIPTION	COST
1. General Conditions	\$TBD
2. Payment and Performance Bond & Insurance	
Payment and Performance Bond	\$TBD
Insurance	\$TBD
	\$TBD
3. Construction (A+B)	
A. TOTAL Pre-Construction Services ¹	\$TBD
B. Cost of the Work ¹ (Cost of Construction + Allowances + CM Contingency + Commission's Contingency)	\$TBD
Cost of Construction	\$TBD
Site Work Allowance	\$TBD
Environmental Allowance	\$TBD
CM's Contingency	\$TBD
Commission's Contingency	\$TBD
TOTAL Cost of Work (B)	\$TBD
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5. The Guaranteed Maximum Project Cost Proposal will be the values of Lines 1 + 2 + 3 + 4	\$TBD

¹ Indicates values to be included in the MBE/WBE calculation (Line 3 – Construction)

² Unused portions of all funds will be returned to the Project's budget and ultimately, the City of Chicago (AIS)

Signature:

Date:

¹ Indicates values to be included in the MBE/WBE calculation (Line 3 – Construction)

² Unused portions of all funds will be returned to the Project's budget and ultimately, the City of Chicago (AIS)

Signature:

Date:

¹ Indicates values to be included in the MBE/WBE calculation (Line 3 – Construction)

² Unused portions of all funds will be returned to the Project's budget and ultimately, the City of Chicago (AIS)

Signature:

Date:

Financial Statements



Evaluation Criteria



Evaluation Criteria	Weighted Percentage
Technical Competence and Past Performance	25%
Project Approach and Methodology	20%
Price	20%
MBE/WBE Past Participation	15%
Qualifications and Relevant Experience of Key Staff	10%
Financial Capacity	5%
References	3%
Responsiveness to the Solicitation	2%
Total	100%

SOLE POINT OF CONTACT:

Patricia Montenegro

patricia.montenegro@cityofchicago.org

04

Ray Giderof

Chief Development Officer

&

Development Team

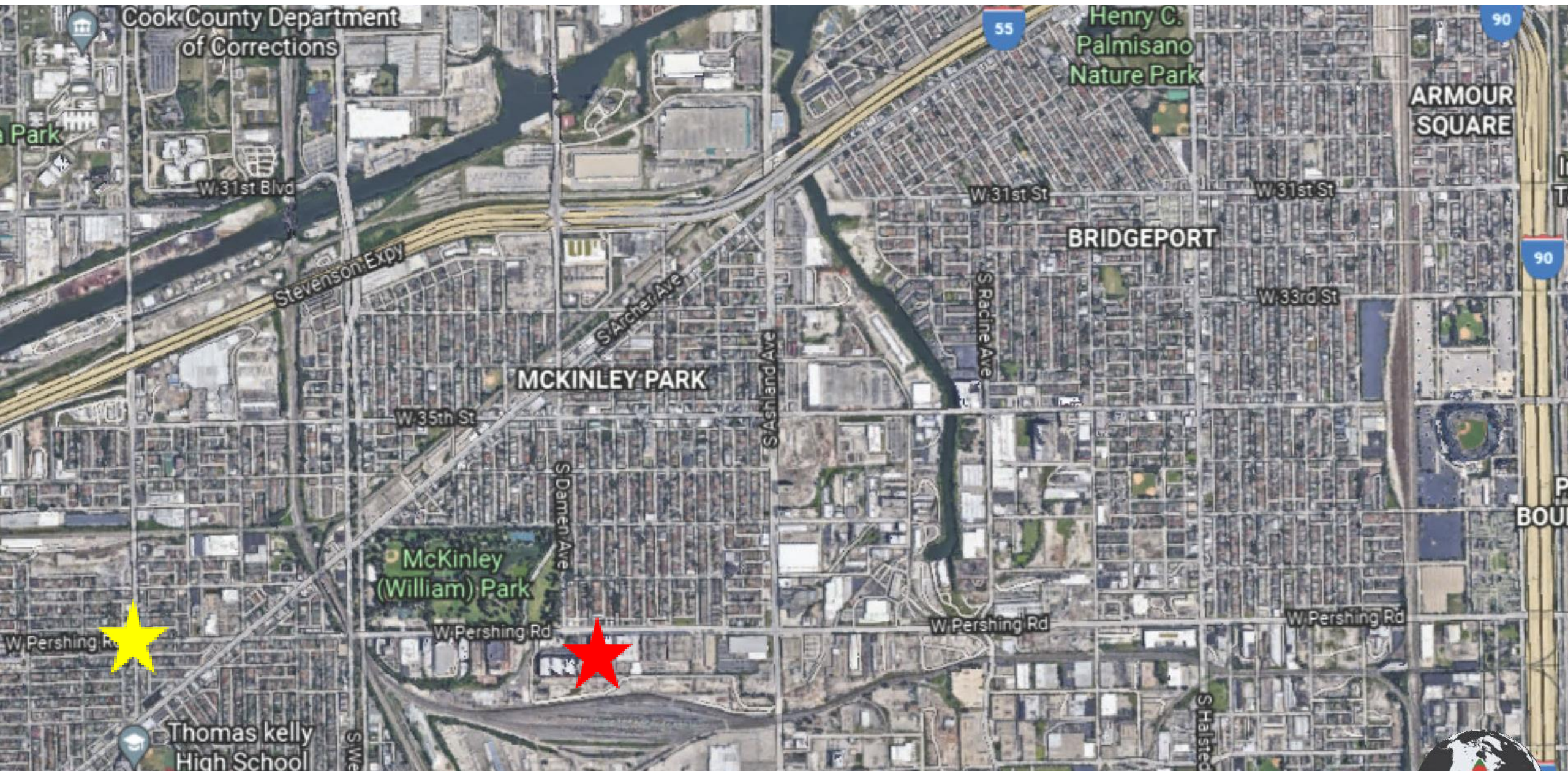
- **Project Overview**
- **Current Status**
- **Proposed Project Schedule**
- **Anticipated Cost of Construction**



ASSETS, INFORMATION & SERVICES

★ Juvenile Center
3900 S. California

★ Pershing Buildings and Tunnel
1769, 1819, 1869 W. Pershing



SECTION III – PROJECT DESCRIPTION

PROJECT NAME: Pershing Road East Building Upgrades
PROJECT ADDRESS: 1769 West Pershing Road
PROJECT NUMBER: 04027
PROJECT WARD: 12
ALDERMAN: George A. Cardenas
DESIGN ARCHITECT: Harding Mode Joint Venture
PROJECT REGION: 3 (26th Street to 138th Street)
GROUP NUMBER: 8 (total 4 facilities within Group 8)
INVEST SOUTH/WEST CORRIDOR: No
INVEST SOUTH/WEST COMMUNITY AREA: Yes

PROJECT DESCRIPTION:

The Project scope consists of renovation of an existing building (Pershing East Building) located at 1769 West Pershing Road within the McKinley Park Neighborhood for the City of Chicago's Department of Assets, Information & Services (AIS). The building is approximately 630,000sf and includes 6 levels above grade, with a basement. The building is constructed of masonry and is connected to two other similar adjacent buildings via underground tunnels and overhead enclosed bridge. The Project intent is to address code related requirements to enable the building to be classified a "Vacant" under the City of Chicago code by addressing the life safety issues. The Building currently has limited use for inactive storage across miscellaneous locations within the existing 6 levels and basement spaces. The Project scope anticipates including the removal of fire loads from the interior, necessary structural repairs to the inactivated/empty elevator shafts and top floors, ensure proper exiting from all areas of the building including signage, communication systems, and protected passages, provide code required fire separations, provide code required fire protection systems (sprinklers are not required), minimal ventilation to prevent humidity buildup, security systems, minimal electrical power and lights to address code requirements, cap/remove unnecessary plumbing, and abatement of environmental hazardous materials in areas of work only. The Project scope also anticipates constructing 4 hour separations between this building and the adjacent 1819 West Pershing Road Center Building at the two bridges and tunnel with code compliant access. The exterior envelope work such as window replacement, tuckpointing of masonry, and roof replacement will be addressed at the same time by a separate project and will require coordination.

PROPOSED PROJECT SCHEDULE:

The proposed design and construction schedule as well as any other proposed dates are subject to change.

Present CM Entity Award Recommendation to Board for Approval:

2nd Quarter 2022

Substantial Completion:

4th Quarter 2022

The CM is responsible for providing assistance on all design, engineering, permitting tasks, confirming construction costs, Project schedule and delivery, along with procuring Subcontractors to execute all required construction work.

DESIGN AND CONSTRUCTION BUDGET:

\$8,000,000 - \$ 10,000,000

The budget includes, but is not limited to: Pre-Construction and Construction.

PROJECT IMPACTS:

Permitting: SPR - Standard Plan Review

Environmental: ACM and LBP Abatement

Coordination with other on-going construction projects

Adjacent occupancies

Project Phasing, as required

ATTACHMENTS:

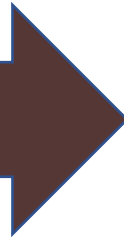
RP_HMJV_PershingEast_AssessmentReport_20210709

CE_RLB_PershingEast_ConceptEstimate_20211104

PERSHING ROAD

East Building
1769 W. Pershing

Project Description



PERSHING ROAD

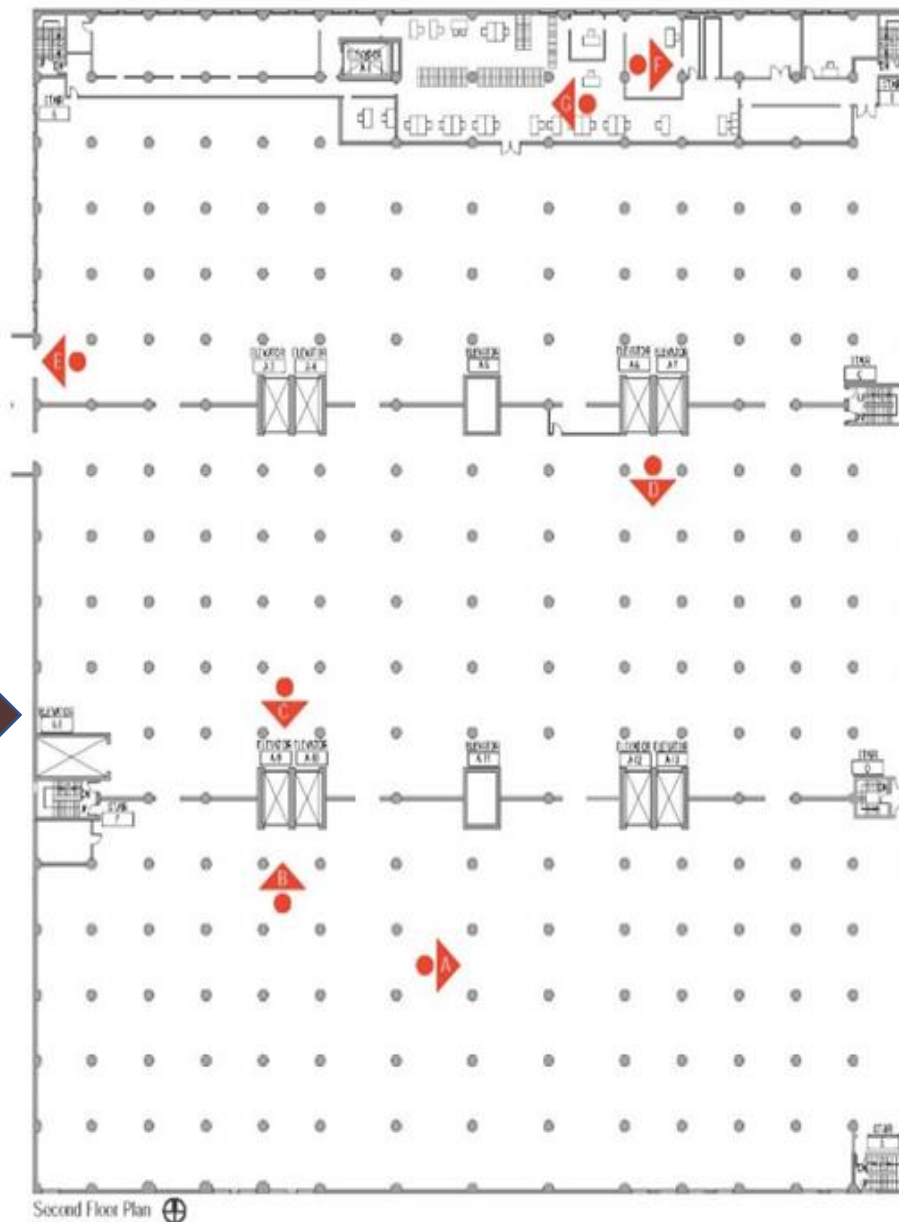
East Building
1769 W. Pershing

- *Building Information*
- *Scope Intent*
- *Scope of Work*
- *Project Considerations*
- *Proposed Project Schedule*

- Building Information:
 - 1769 West Pershing Road (McKinley Park Neighborhood).
 - +/- 630,000sf - 6 levels / basement.
 - Masonry high rise. Connected to adjacent building via tunnel/bridge.
 - Unoccupied
- Scope Intent:
 - To address code/Life safety issues to classify a "Vacant".
- Scope of Work:
 - Includes, but not limited to:
 - Remove existing debris and selective demolition
 - Structural Repairs
 - Secure inactive elevator
 - Fire life safety, such as exiting , signage, communication, separations
 - Ventilation, louvers, cap plumbing, and minimum lighting
 - Security
 - No sprinklers required
- Project Considerations
 - Permitting: SPR - Standard Plan Review
 - Environmental: ACM and LBP Abatement
 - Coordination with other on-going construction projects
 - Project Phasing, as required
- Proposed Project Schedule:
 - Construction Documents: Q2 2022
 - Permitting: Q3 2022
 - Substantial Completion: Q4 2022

PERSHING ROAD
East Building
 1769 W. Pershing

- First Floor Plan
 (Typical floor plate)
- Condition Photos



PERSHING ROAD BUILDING - 07/09/2021
 1769 W Pershing Road, Chicago IL 60609

HARDING MACE



A - South side of floor



B - Deteriorated Lintel Elevator 9



C - Deteriorated Lintel Elevator 9



D - Chain Link Fenced Area and rubbish



E - Bridge to Central Building



F - Buildout at north of floor and rubbish



E - Buildout at north of floor and rubbish

GFA: Gross Floor Area
Rates Current At October 2021

TRADE SUMMARY

Ref	Description	GFA \$/SF	Total Cost \$
02	Existing Conditions	0.48	321,179
03	Concrete	0.18	116,620
05	Metals	0.82	546,960
08	Openings	0.21	140,800
22	Plumbing	0.11	71,200
23	Heating, Ventilating, and Air Conditioning	0.14	92,700
26	Electrical	0.28	187,300
ESTIMATED NET COST		2.22	1,476,759

PERSHING ROAD
East Building
1769 W. Pershing

Cost Estimate

SECTION III – PROJECT DESCRIPTION

PROJECT NAME : Pershing Road Center Building Upgrades
PROJECT ADDRESS : 1819 West Pershing Rd
PROJECT NUMBER : 04026
PROJECT WARD : 12
ALDERMAN : George A. Cardenas
ARCHITECT OF RECORD : Harding Mode Joint Venture
PROJECT REGION : 3 (26th Street to 138th Street)
GROUP NUMBER : 8 (total 4 facilities within Group 8)
INVEST SOUTH/WEST CORRIDOR : No
INVEST SOUTH/WEST COMMUNITY AREA : Yes

PROJECT DESCRIPTION :

The Project scope consists of renovation of a pre-existing Pershing Road Center Building located at 1819 West Pershing Road within the McKinley Park Neighborhood for the City of Chicago's Department of Assets, Information & Services (AIS). The building is approximately 630,000sf and includes 6 levels above grade, with a basement. The building is constructed of masonry and is connected to two other similar adjacent buildings via underground tunnels and overhead enclosed bridges. The Project intent consists of core and shell construction and life safety code requirements. The building usage is for active storage and office spaces for multiple City departments, temporary Board of Elections activity, and administrative functions. The Project anticipates including required Building Code alterations such as handrails/guardrails, fire separations, new rated doors and hardware, sprinkler system with required standpipes, 2 way communication, and alarm system, lighting, signage, demolition of existing drywall and metal studs, environmental remediation in areas of work, HVAC repairs, upgrades, and system controls, electrical and lighting upgrades to meet code and removal of hazards, elevator controls, toilet room upgrades to meet minimum code requirements, and the possible installation of drywall partitions and chain link floor to ceiling dividers and associated interior repairs to accommodate the relocation of the BOE staff from the adjacent Building located at 1869 West Pershing Road. The exterior envelope work such as window replacement, tuckpointing of masonry, and roof replacement will be addressed at the same time by a separate project and will require coordination.

PROPOSED PROJECT SCHEDULE :

The proposed design and construction schedule as well as any other proposed dates for this procurement are subject to change.

Present CM Entity Award Recommendation to Board for Approval:

2nd Quarter 2022

Substantial Completion:

4th Quarter 2022

The CM is responsible for providing assistance on all design, engineering, permitting tasks, confirming construction costs, Project Schedule and delivery, along with procuring Subcontractors to execute all required construction work.

DESIGN AND CONSTRUCTION BUDGET :

\$8,000,000 - \$10,000,000

The budget includes, but is not limited to: Pre-construction and Construction

PROJECT CONSIDERATIONS :

Permitting: SPR - Standard Plan Review
Environmental: ACM and LBP Abatement
BOE: Coordination
Coordination with on-going construction (by others)
Adjacent occupancies
Project Phasing, as required

ATTACHMENTS :

RP_HMJV_PershingCenter_AssessmentReport_20210709
RP_PBC_JM_1819Pershing_ExecutiveSummary_20211028
CE_RLB_PershingCenter_5yrConceptEstimate_20211013

PERSHING ROAD

Center Building
1819 W. Pershing

Project Description

PERSHING ROAD

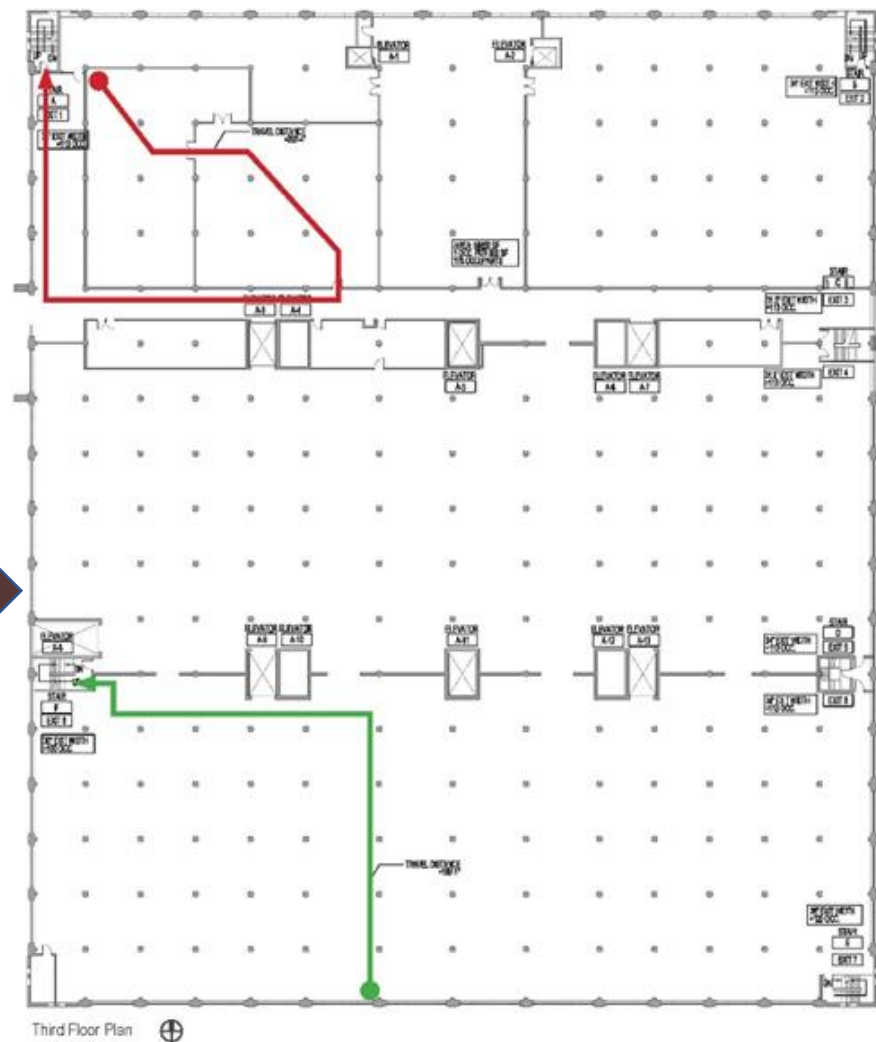
Center Building
1819 W. Pershing

- *Building Information*
- *Scope Intent*
- *Scope of Work*
- *Project Considerations*
- *Proposed Project Schedule*

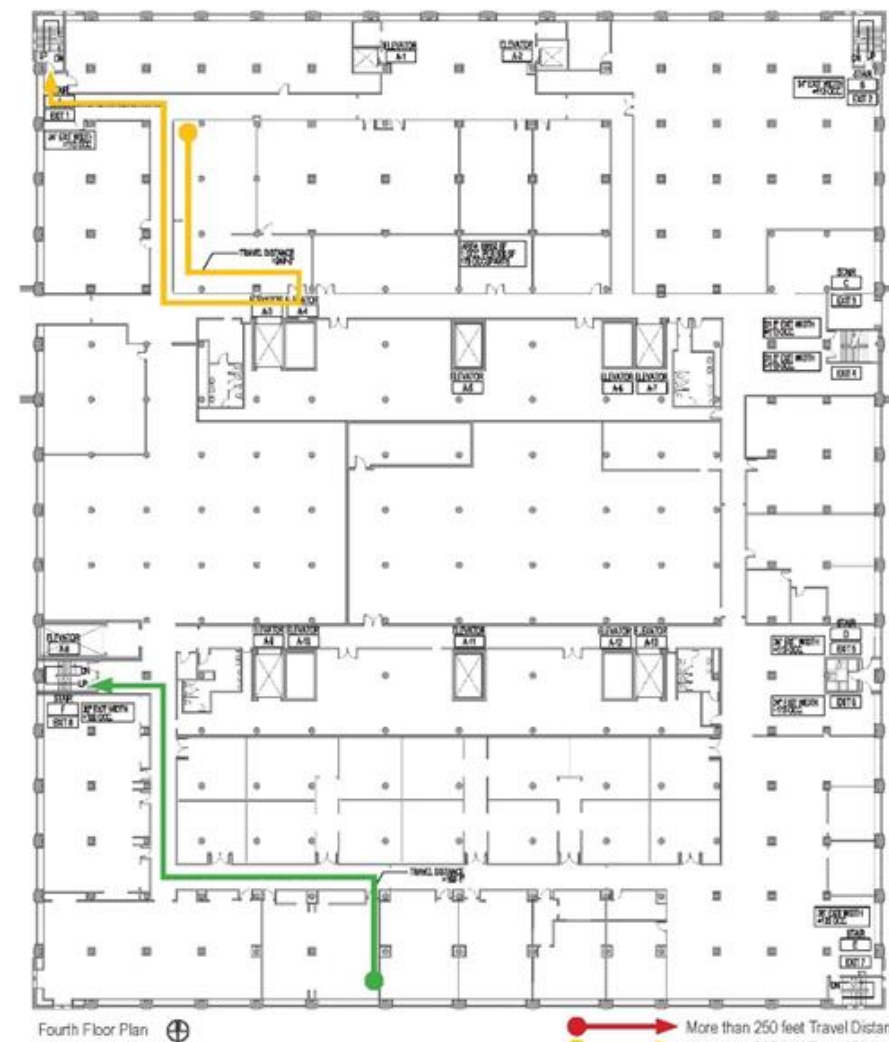
- Building Information
 - 1819 West Pershing Road (McKinley Park Neighborhood)
 - +/- 630,000sf - 6 levels / basement.
 - Masonry high rise. Connected to adjacent buildings via tunnels / bridges.
 - Occupied by multiple departments/agencies
- Scope Intent:
 - Life Safety Code requirements
 - Possibly core and shell construction
- Scope of Work:
 - Includes, but not limited to:
 - Life safety – sprinklers, alarm system, communication, standpipes, minimum lighting
 - Fire separations, exiting, signage, doors, hardware, railings/guards,
 - Lighting, HVAC, system controls
 - Freight elevator replacement/upgrades
 - Toilet room upgrades to meet code
 - Possibly Core and Shell work for Board of Elections
- Project Considerations
 - Permitting: SPR - Standard Plan Review
 - Environmental: ACM and LBP Abatement
 - BOE: Coordination
 - Coordination with on-going construction (by others)
 - Project Phasing, as required
- Anticipated Schedule
 - Construction Documents: Q 2 2022
 - Permitting: Q 3 2022
 - Substantial Completion: Q4 2022

PERSHING ROAD Center Building 1819 W. Pershing

- Floor Plans (Typical)
- Condition Photos



PERSHING ROAD BUILDING - 07/09/2021
1819 W Pershing Road Chicago IL 60609



HARDING.MODE JV

- More than 250 feet Travel Distance
- More than 200 feet Travel Distance
- Less than 200 feet Travel Distance

PERSHING ROAD BUILDING

CONCEPT ESTIMATE 5 YEAR PLAN



FOR BUDGETARY PLANNING PURPOSE

BASE ESTIMATE SUMMARY

GFA: Gross Floor Area
Rates Current At June 2021

PERSHING ROAD
Center Building
1819 W. Pershing



Ref	Description	GFA \$/SF	Building 1819
02	Existing Conditions	0.47	297,916
03	Concrete	0.24	147,893
04	Masonry	0.20	123,500
05	Metals	0.87	546,960
08	Openings	0.51	319,800
09	Finishings	0.05	33,984
10	Specialties	0.02	13,150
14	Conveying Equipment	0.44	278,000
21	Fire Suppression	7.34	4,616,580
22	Plumbing	1.61	1,015,171
23	Heating, Ventilating, and Air Conditioning	5.19	3,262,149
26	Electrical	11.34	7,136,124
28	Electronic Safety and Security	4.65	2,925,417
ESTIMATED NET COST		32.93	20,716,644

SECTION III – PROJECT DESCRIPTION

PROJECT NAME: Pershing Road West Building and Tunnel Upgrades
PROJECT ADDRESS: 1869 West Pershing Rd
PROJECT NUMBER: 04028
PROJECT WARD: 12
ALDERMAN: George A. Cardenas
ARCHITECT OF RECORD: Harding Mode Joint Venture
PROJECT REGION: 3 (26th Street to 138th Street)
GROUP NUMBER: 8 (total 4 facilities within Group 8)
INVEST SOUTH/WEST CORRIDOR: No
INVEST SOUTH/WEST COMMUNITY AREA: Yes

PROJECT DESCRIPTION WEST BUILDING:

The Project scope consists of renovation of a pre-existing Pershing Road West Building located at 1869 West Pershing Rd within the McKinley Park Neighborhood for the City of Chicago's Department of Assets, Information & Services (AIS). The Building is approximately 630,000sf and includes 6 levels above grade, with a basement. The building is constructed of masonry and connected to two other similar buildings via underground tunnels and overhead enclosed bridge. The Project intent consists of upgrades and renovations to address minimum code requirements and core and shell upgrades to existing 5th and 6th floors. The building is used by multiple city departments and public user agencies. The Project scope anticipates including, but is not limited to, alterations to meet minimum building code requirements, such as handrails/guardrails, fire separations, rated doors and code compliant hardware, elevator upgrades, and fire protection systems.

PROJECT DESCRIPTION TUNNEL:

The project scope also anticipates including work to abandon the utility tunnels and structurally secure the tunnel along the south side of this building and the two adjoining buildings including abatement as required to enable the work, construction of isolating structural walls, securing new pathways for utilities, and filling the tunnels with flowable fill. The utility tunnel is approximately 930LF and connects to the two adjoining buildings. Time is of the essence for this scope of work – a separate Milestone Completion Date will be established. The exterior envelope work such as window replacement, tuckpointing of masonry, and roof replacement will be addressed at the same time by a separate project and will require coordination.

PROPOSED PROJECT SCHEDULE:

The proposed design and construction schedule as well as any other proposed dates for this procurement are subject to change.

Present CM Entity Award Recommendation to Board for Approval:

2nd Quarter 2022

Tunnel Work Completion Milestone:

3rd Quarter 2022

Substantial Completion:

4th Quarter 2022

The CM is responsible for providing assistance on all design, engineering, permitting tasks, confirming construction costs, Project Schedule and delivery, along with procuring Subcontractors to execute all required construction work.

ANTICIPATED COST OF CONSTRUCTION:

\$10,000,000 - \$ 12,000,000

The budget includes, but is not limited to: Pre-Construction and Construction

PROJECT CONSIDERATIONS:

Permitting: SPR - Standard Plan Review
Environmental: ACM and LBP Abatement
Coordination with other on-going construction projects
Adjacent occupancies
Project Phasing, as required

ATTACHMENTS:

RP_HMJV_PershingWest_AssessmentReport_20210730
RP_HMJV_PershingRdTunnelReport_20210629
RP_HMJV_PAH_West_5yrProgrammingReport_20210914
DWG_HMJV_04208_Pershing_Tunnel_100PctCD_20211116
CE_RLB_Pershing_WestBuildingConcept Estimate_20220126
CE_RLB_PershingWestTunnel_100PctCD Estimate_20211026

PERSHING ROAD
West Building
1869 W. Pershing

Project Description

PERSHING ROAD

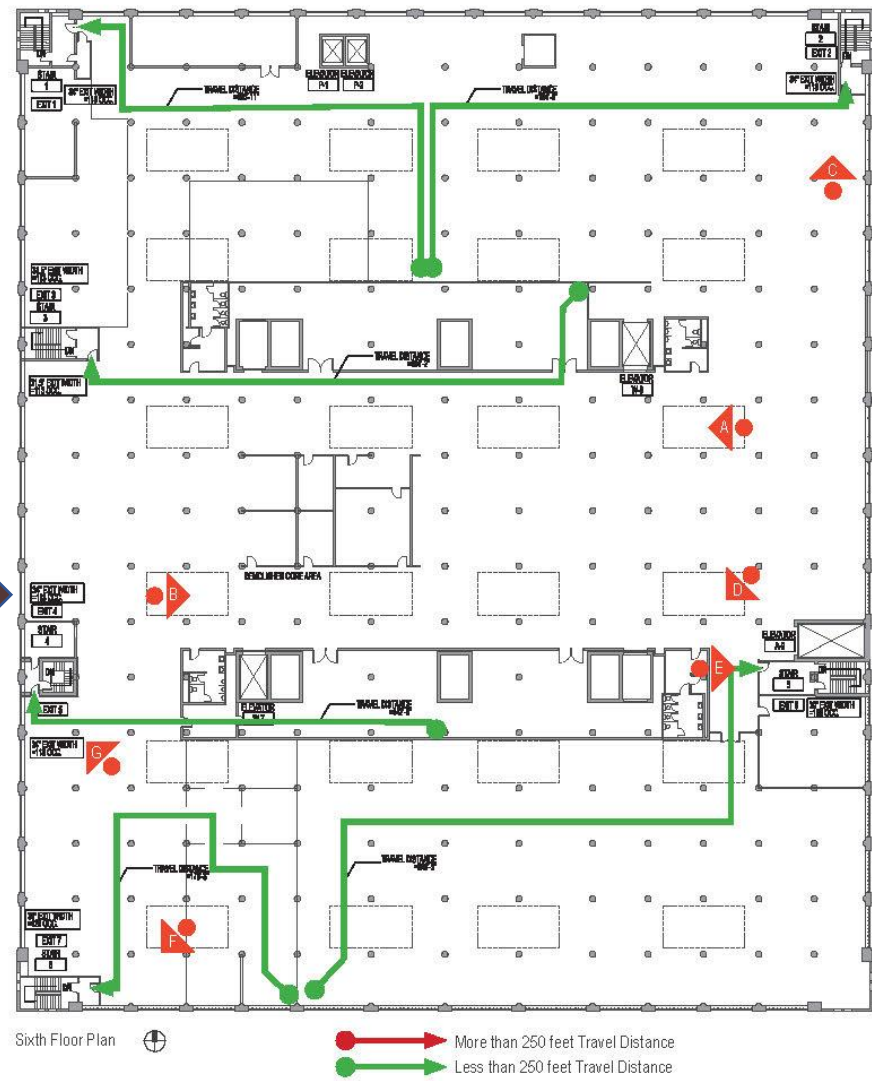
West Building
1869 W. Pershing

- *Building Information*
- *Scope Intent*
- *Scope of Work*
- *Project Considerations*
- *Proposed Project Schedule*

- Building Information :
 - 1869 West Pershing Rd (McKinley Park Neighborhood)
 - +/- 630,000sf - 6 levels / basement.
 - Masonry high rise. Connected to adjacent buildings via Tunnel/bridge
 - Occupied by multiple departments/agencies
- Scope Intent:
 - minimum code requirements
 - Possibly Core/Shell upgrades and 6th floors
- Scope or Work:
 - Includes, but is not limited to:
 - Life safety systems such as sprinklers, communication, separations,
 - Railings/guards, doors, hardware,
 - Elevator upgrades
 - Possible core and shell upgrades to 5th and 6th floors
- Project Considerations:
 - Permitting: SPR - Standard Plan Review
 - Environmental: ACM and LBP Abatement
 - Coordination with other on-going construction projects
 - Project Phasing, as required
- Anticipated Schedule:
 - Construction Documents: Q3 2022
 - Permitting: Q3 2022
 - Substantial Completion: Q4 2022

PERSHING ROAD
West Building
 1869 W. Pershing

- Floor Plan
- Condition Photos



PERSHING ROAD BUILDING - 07/30/2021
 1869 W Pershing Road Chicago IL 60609

HARDING MODE JV



A - Circulation space between column lines 8-9



B - Circulation space between column lines 11-12



C - Stored material at Exit 2



D - Stored materials in front of bathroom



E - Condition at Exit 6



F - Stored materials in front of Exit 7



G - Stored materials in front of Exit 5

Li quam aut aut arcilbeatas dit alignim inverro

GFA: Gross Floor Area
Rates Current At January 2022

LOCATION SUMMARY

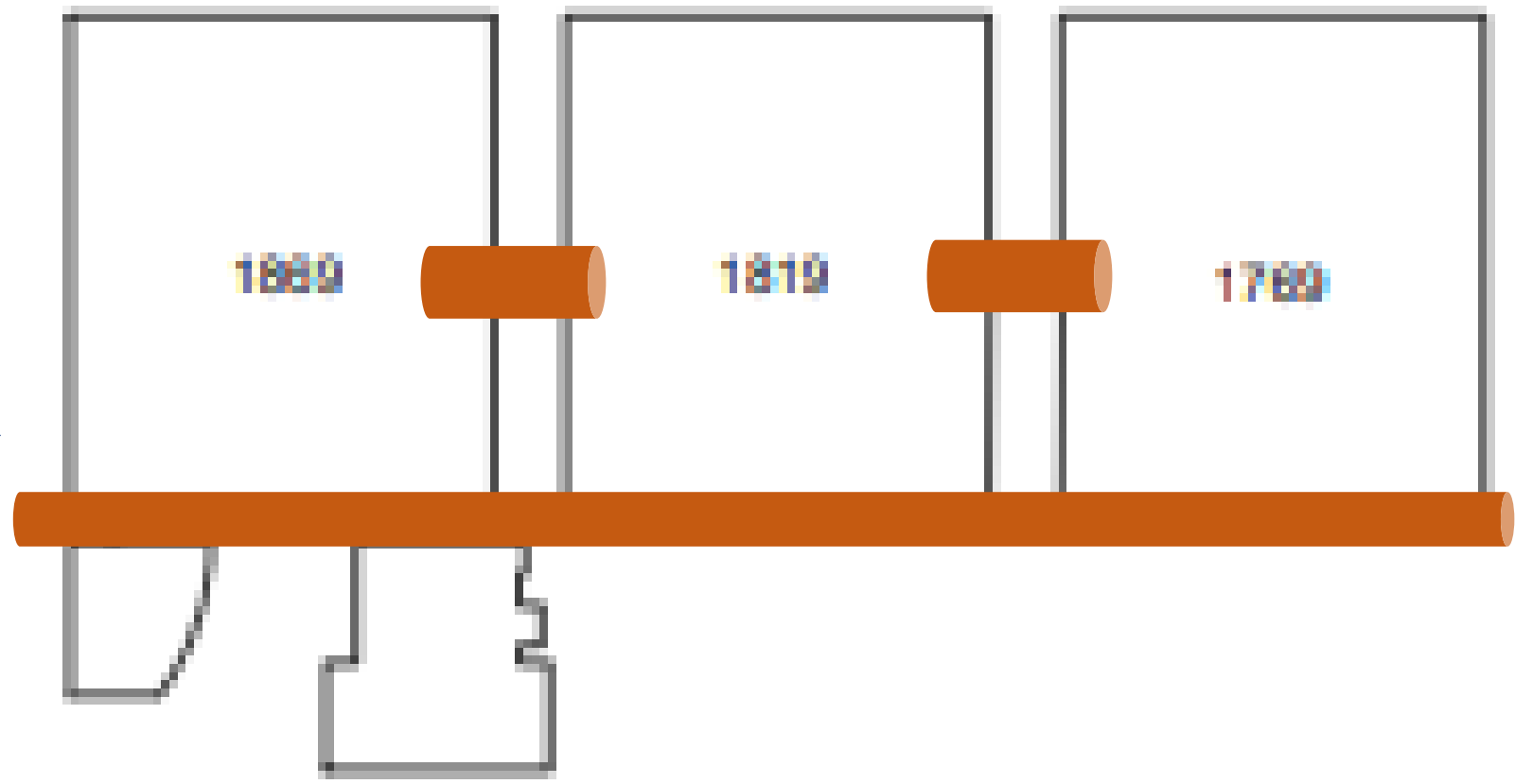
Ref	Location	GFA SF	GFA \$/SF	Total Cost \$
B	Life Safety Requirements	599,506	17.15	10,281,210
C	Tenant Alterations			2,240,838
D	CDPH - Chicago Dept of Public Health			4,473,187
E	AIS - Electrician Shops			258,665
F	AIS - Carpenters Shops			897,155
G	AIS - Painters Shops			184,775
H	AIS- Iron Workers Shops			170,528
I	AIS - Glaziers Shops			17,378
J	AIS- Pipe Fitters Shops			32,000
K	AIS - Print Room			71,178
ESTIMATED NET COST		599,506	31.07	18,626,914

PERSHING ROAD
West Building
1869 W. Pershing



Cost Estimate

PERSHING ROAD
West Building
Tunnel Scope



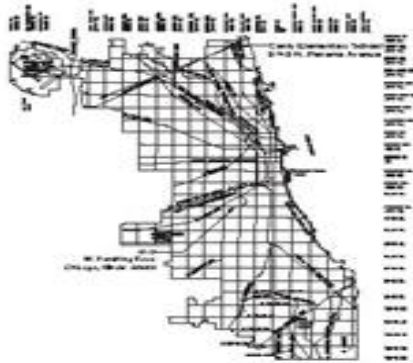
 *Location of Tunnels*

PERSHING ROAD

West Building Tunnel Scope

- *Building Information*
- *Scope Intent*
- *Scope of Work*
- *Project Considerations*
- *Proposed Project Schedule*

- Building Information:
 - Utility Tunnel connecting three buildings
 - Connecting tunnels between buildings
 - +/- 930LF and +/- 60 LF between buildings
- Scope Intent:
 - Abandon and structurally secure
- Scope of Work:
 - Includes, but not limited to:
 - Construct isolating walls
 - Relocate utilities (Water, gas, steam, electric)
 - Fill abandon tunnel with flowable fill
 - Repair connecting tunnels and build fire separation
- Project Consideration
 - Permitting: SPR - Standard Plan Review
 - Environmental: ACM and LBP Abatement
 - Coordination with other on-going construction projects
 - Adjacent occupancies
 - Project Phasing, as required
- Anticipated Schedule:
 - Construction Documents: Q1 2022
 - Permitting: Q2 2022
 - Tunnel Work Completion: Q3 2022



CITY OF CHICAGO LOCATION MAP



1769, 1819, 1869 W. PERSHING TUNNEL RENOVATION

1819 W. PERSHING ROAD
CHICAGO, ILLINOIS 60609

PBC PROJECT NUMBER 04028

ISSUE FOR 100% CD Rev 11.09.2021



PUBLIC BUILDING COMMISSION OF CHICAGO
LORI E. LIGHTFOOT, CHAIRMAN
CARINA E. SÁNCHEZ, EXECUTIVE DIRECTOR
DAVID REYNOLD, COMMISSIONER

Public Building Commission of Chicago
1819 W. Pershing Road
Chicago, Illinois 60609
312.750.1701
www.pbc.com



**1769, 1819, 1869 W. PERSHING
TUNNEL RENOVATION**
1819 W. PERSHING ROAD
CHICAGO, ILLINOIS 60609
PUBLIC BUILDING COMMISSION OF CHICAGO
CITY OF CHICAGO, MAYOR LORI LIGHTFOOT

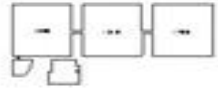
Harding Mode Joint Venture
1215 North Michigan Street
Chicago, Illinois 60607
312.922.2600
www.hardingmode.com

CEA & A
175 North Franklin Street, Suite 410
Chicago, Illinois 60606
312.750.1701
www.ceaand.com

Terra Engineering
225 W. Ohio Street, 4th Floor
Chicago, Illinois 60654
312.467.0123
www.terraeng.com

NO.	DATE	DESCRIPTION

REVISIONS: NONE
DATE: 11/09/2021
DRAWN: JLM
CHECKED: JLM
COVER SHEET



ARCHITECT OF RECORD
HARDING MODE JOINT VENTURE
224 South Michigan Avenue, Suite 245
Chicago, Illinois 60604
312.922.2600 T
312.922.8222 F

MEP AND FP ENGINEERS
CCJM
303 East Wacker Drive, Suite 303
Chicago, Illinois 60601
312.669.0609 T
312.669.0525 F

STRUCTURAL ENGINEERS
CEA&A
175 North Franklin Street, Suite 410
Chicago, Illinois 60606
312.750.1701 T

CIVIL ENGINEERS
TERRA ENGINEERING
225 W Ohio Street, 4th Floor
Chicago, Illinois 60654
312.467.0123 T
312.467.0220 F



1769 - WEST BUILDING



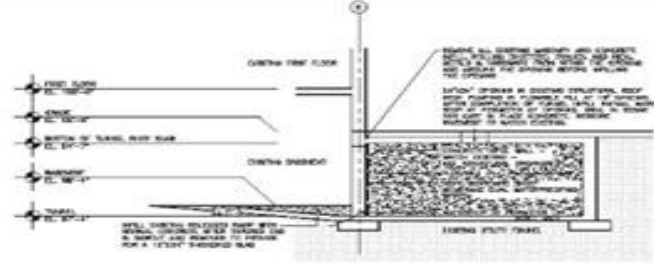
1819 - CENTER BUILDING



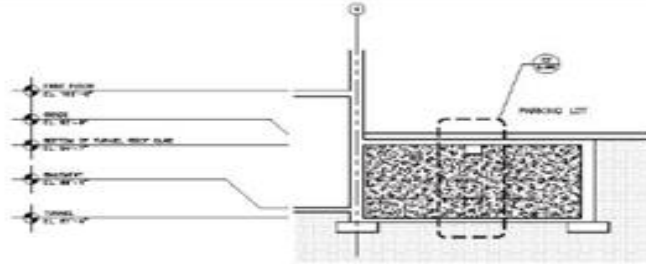
1769 - EAST BUILDING



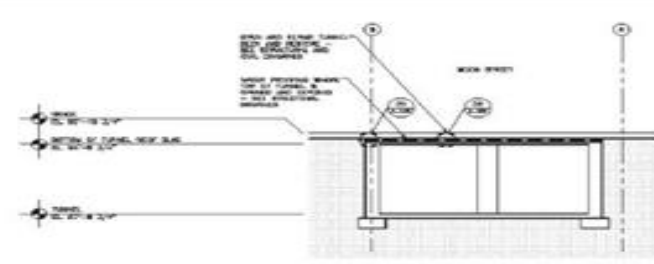
1869 - WEST BUILDING



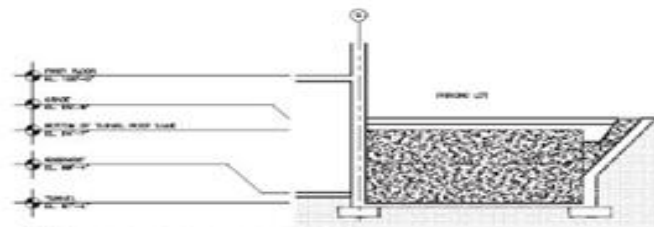
A6 UTILITY TUNNEL SECTION AT OPENING
SCALE: 1/4" = 1'-0"



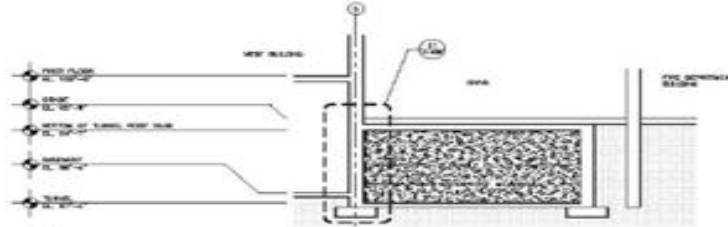
A4 UTILITY TUNNEL TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



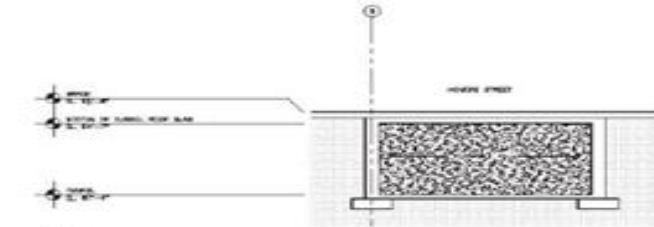
A2 TRANSIT TUNNEL TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



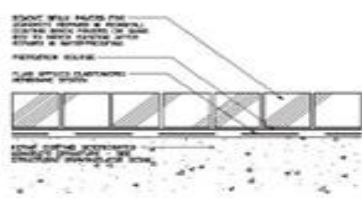
C6 UTILITY TUNNEL SECTION AT EXISTING CHUTE
SCALE: 1/4" = 1'-0"



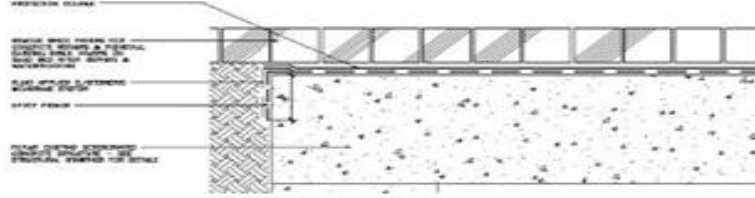
C4 UTILITY TUNNEL TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



C2 UTILITY TUNNEL TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



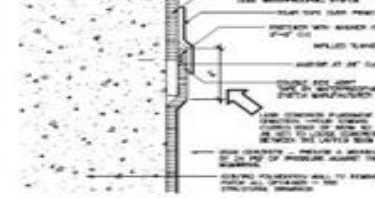
D6 TYPICAL WATERPROOF SYSTEM AT TRANSIT TUNNEL
SCALE: 3/4" = 1'-0"



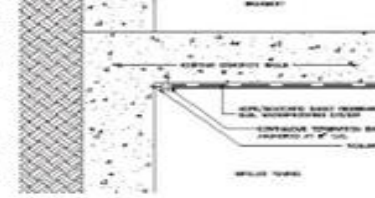
D5 WATERPROOFING CORNER DETAIL
SCALE: 3/4" = 1'-0"



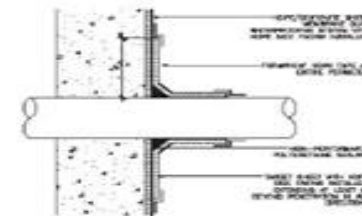
D3 MEMBRANE WATERPROOFING BASE DETAIL
SCALE: 3/4" = 1'-0"



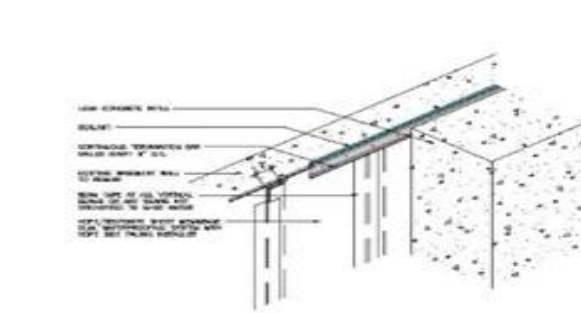
D2 VERTICAL SEAM DETAIL - TYPICAL
SCALE: 3/4" = 1'-0"



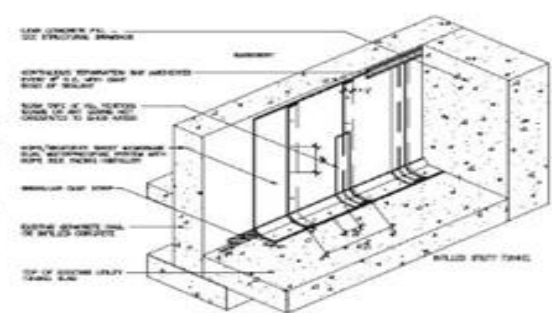
D1 MEMBRANE WATERPROOFING CORNER DETAIL
SCALE: 3/4" = 1'-0"



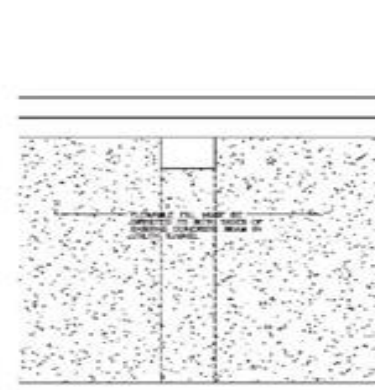
E5 PIPE PENETRATION IN BACKFILLED WALL
SCALE: 3/4" = 1'-0"



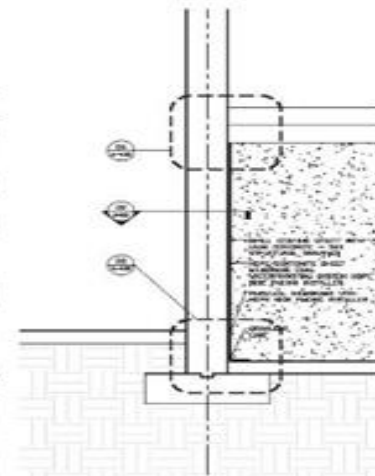
E4 MEMBRANE WATERPROOFING CEILING TERMINATION DETAIL
SCALE: 3/4" = 1'-0"



E3 TYPICAL MEMBRANE WATERPROOFING
SCALE: 3/4" = 1'-0"

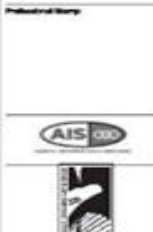


E2 UTILITY TUNNEL SEAM SECTION - TYPICAL
SCALE: 3/4" = 1'-0"



E1 UTILITY TUNNEL WALL SECTION - TYPICAL
SCALE: 3/4" = 1'-0"

Professional Seal
Professional Stamp



**1769, 1819, 1869 W. PERSHING
TUNNEL RENOVATION**
1819 W PERSHING ROAD
CHICAGO, ILL 60608
PUBLIC BUILDING COMMISSION OF CHICAGO
CITY OF CHICAGO, MAYOR LORI LIGHTFOOT

Harding Moe Joint Venture
300 East Superior Street, Suite 200
Chicago, Illinois 60601
www.hardingmoe.com
COLM ENGINEERING
200 East Superior Street, Suite 200
Chicago, Illinois 60601
www.colm.com
CEMA STRUCTURAL
174 North Dearborn Street, Suite 400
Chicago, Illinois 60610
www.cemastructural.com
TSCM ENGINEERING
200 East Superior Street, Suite 200
Chicago, Illinois 60601
www.tscm.com

1769, 1819, 1869 PERSHING ROAD TUNNEL RENOVATION

100% CONSTRUCTION DOCUMENT ESTIMATE

PERSHING ROAD
West Building
Tunnel Scope

Cost Estimate



TRADES SUMMARY

ALL All Locations

Rates Current At October 2021

Ref	Description	%	GFA \$/SF	Total Cost \$
02	Existing Conditions	2.2 %		43,228
03	Concrete	58.6 %		1,131,138
04	Masonry	0.2 %		3,480
07	Thermal and Moisture Protection	10.1 %		194,816
21	Fire Suppression	2.8 %		53,855
22	Plumbing	5.6 %		107,925
23	Heating, Ventilating, and Air Conditioning	8.0 %		155,216
26	Electrical	7.3 %		140,639
28	Electronic Safety and Security	0.6 %		12,502
31	Earthwork	0.3 %		5,400
32	Exterior Improvements	3.6 %		69,211
33	Utilities	0.7 %		14,400
ALL LOCATIONS		100.0 %		1,931,810

SECTION III – PROJECT DESCRIPTION

PROJECT NAME : Juvenile Intervention and Support Center
PROJECT ADDRESS : 3900 S. California Ave
PROJECT NUMBER : 04032
PROJECT WARD : 12
ALDERMAN : George A. Cardenas
ENGINEER OF RECORD : HOH Group, Inc.
PROJECT REGION : 3 (26th Street to 138th Street)
GROUP NUMBER : 8 (total 4 facilities within Group 8)
INVEST SOUTH/WEST CORRIDOR : No
INVEST SOUTH/WEST COMMUNITY AREA : No

PROJECT DESCRIPTION :

The Project scope consists of upgrading an originally constructed Chicago Fire Department building which is currently used by the Chicago Police Department as a 24-hour holding facility. The facility is managed by the City of Chicago Department of Assets, Information & Services ("AIS") on the near west side of Chicago, located at 3900 block of south California in the Brighton Park community. The facility is a three-story brick masonry building with one entrance facing S. California, one employee entrance on the south parking lot side of the building, and two overhead doors located on W Pershing Rd. The Project scope anticipates new roofing and minor selective exterior masonry repair, water infiltration damage repair, new exterior and overhead doors, new toilet upgrades, interior finishes, plumbing upgrades, HVAC mechanical rooftop equipment and controls upgrades, partial electrical lighting upgrade to LED, and new roof hatch and ships ladder.

PROPOSED PROJECT SCHEDULE :

The proposed design and construction schedule as well as any other proposed dates for this procurement are subject to change

Present CM Entity Award Recommendation to Board for Approval: 2nd Quarter 2022
Substantial Completion: 4th Quarter 2022

The CM is responsible for providing assistance on all design, engineering, permitting tasks, confirming construction costs, Project schedule and delivery, along with procuring Subcontractors to execute all required construction work.

ANTICIPATED COST OF CONSTRUCTION :

\$1,000,000 - \$1,200,000.00

The budget includes, but is not limited to, Pre-Construction and Construction.

PROJECT CONSIDERATIONS :

- Permitting: SPR - Standard Plan Review
- Occupants: Building will be in use during construction
- Environmental: ACM and LBP Abatement
- Project Phasing, as required

ATTACHMENTS :

- RP_HOH_JBA_Juvenile_Preliminary_AssessmentReport_20211215
- RP_HOH_JBA_Juvenile_PreliminaryMEPFPF&T_AssessmentReport_20211215
- RP_HOH_JBA_Juvenile_RoofingInspectionReport_20211019
- DWG_HOH_JBA_Juvenile_Preliminary_AssessmentSDDrawings_20211215
- CE_TCG_SW_Juvenile_Preliminary_AssessmentEstimate_20220124Rev2

JUVENILE INTERVENTION & SUPPORT CENTER

3900 S. California



Project Description

JUVENILE INTERVENTION & SUPPORT CENTER

3900 S. California

- *Building Information*
- *Scope Intent*
- *Scope of Work*
- *Project Considerations*
- *Proposed Project Schedule*

- **Project Description:**
 - 3900 S. California (Brighton Park community)
 - 3 story masonry, with parking lot. Originally Fire Department.
 - 24 – hour facility for Chicago Police.
- **Scope Intent:**
 - Upgrade existing building systems
 - Exterior repairs
- **Scope of Work:**
 - Includes, but not limited to:
 - roofing and exterior masonry repair
 - water infiltration damage repair
 - New overhead and exterior doors
 - Toilet room upgrades
 - Interior finishes
 - HVAC
- **Project Considerations:**
 - Permitting: SPR - Standard Plan Review
 - Occupants: Building will be in use during construction
 - Environmental: ACM and LBP Abatement
 - Project Phasing, as required
- **Anticipated Schedule:**
 - Construction Documents: Q1 2022
 - Permitting: Q2 2022
 - Substantial Completion: Q4 2022

EXIT SUMMARY

MEANS AND DISTANCE TO EXIT	
EXIT TO NEARBY EXIT	
MEANS AND DISTANCE TO EXIT	
MEANS AND DISTANCE TO EXIT	
MEANS AND DISTANCE TO EXIT	

GENERAL NOTES

1. WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.

WALL SURFACE FINISH KEY

FINISH	DESCRIPTION
1	CONCRETE
2	PLASTER
3	PAINT

NOTES

1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.

FLOOR & BASE FINISH KEY

FINISH	DESCRIPTION
1	CONCRETE
2	PLASTER
3	PAINT
4	WOOD
5	CERAMIC TILE
6	VINYL TILE

NOTES

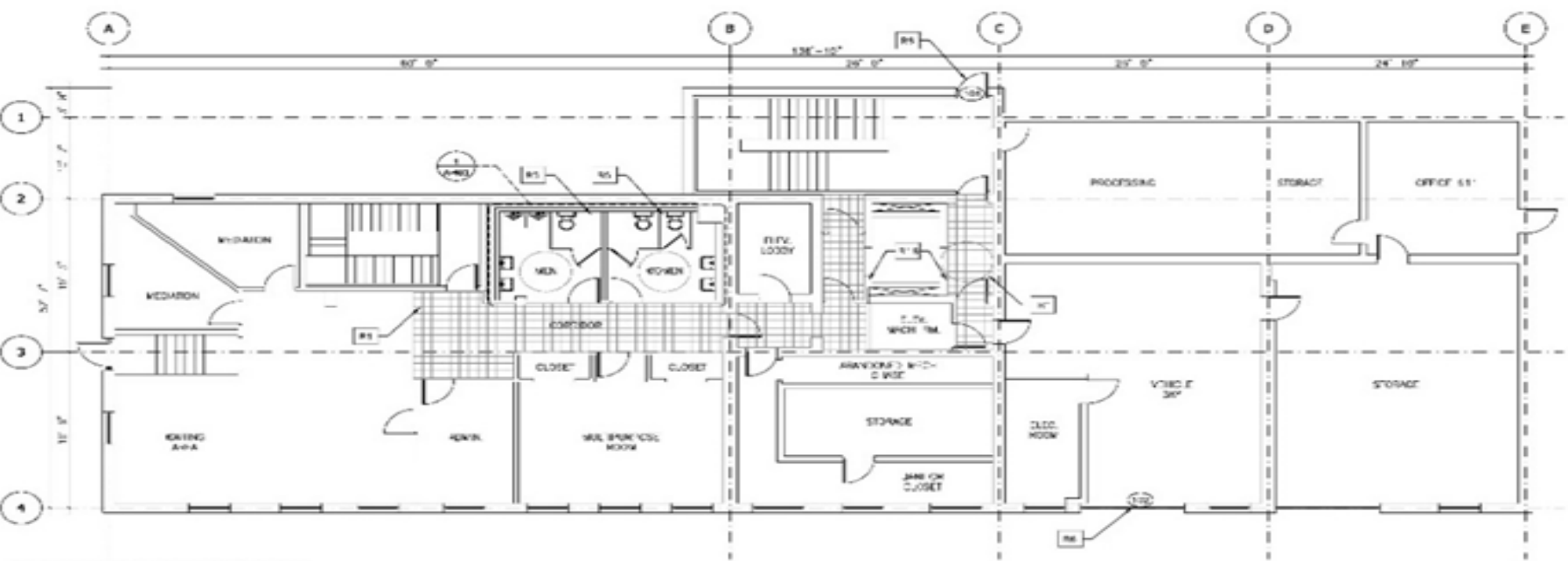
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.

FINISH KEY

FINISH	DESCRIPTION
1	CONCRETE
2	PLASTER
3	PAINT
4	WOOD
5	CERAMIC TILE
6	VINYL TILE

RENOVATION KEY NOTES

- GENERAL**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- CEILING**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- FLOOR**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- WALL**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- DOOR**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- WINDOW**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
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 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- MECHANICAL**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- ELECTRICAL**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
- PLUMBING**
1. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 3. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL WORK SHALL BE ACCORDING TO ALL APPLICABLE CODES AND REGULATIONS.



FIRST FLOOR PLAN RENOVATION



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Architect/Engineer of Record
THE HOH GROUP, INC.

THE HOH GROUP, INC.

3800 S. CALIFORNIA AVE
 CHICAGO, IL 60632
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 Project Consultant

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 Project Consultant

FIRST FLOOR PLAN RENOVATION

A-101R

EXIT SUMMARY

MINIMUM EXIT DOOR OPENING	
ACTUAL EXIT DOOR OPENING	
MINIMUM ALLOWABLE TRAVEL DISTANCE	
MINIMUM WIDTH FROM EXIT DOOR	
INDICATES TRAVEL DISTANCE	→

GENERAL NOTES

1. FOR EXISTING AND REMAINING WORK, SEE DRAWING AND GENERAL NOTES.
2. WHEN WORK IS COMPLETED, VERIFY ANY DIMENSIONS AND FINISHES ARE AS SHOWN.
3. FOR EXISTING WORK, SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.
4. ALL WORK TO COMPLY WITH ALL applicable CODES AND ORDINANCES.

WALL SURFACE FINISH KEY

FINISH 1	COLORS PER DRAWING
FINISH 2	COLORS PER DRAWING
FINISH 3	COLORS PER DRAWING

NOTES

1. SCOFF, CPT BOARD OR 1/2" GYP BOARD.
2. 1/2" GYP BOARD OVER 1/2" GYP BOARD.
3. 1/2" GYP BOARD OVER 1/2" GYP BOARD.
4. SEE DRAWING FOR FINISHES.

FLOOR & BASE FINISH KEY

[Symbol]	TO BE DETERMINE
[Symbol]	TO BE DETERMINE
[Symbol]	TO BE DETERMINE
[Symbol]	TO BE DETERMINE
[Symbol]	TO BE DETERMINE

NOTES

1. ALL FINISHES TO BE INSTALLED OVER EXISTING FINISHES UNLESS OTHERWISE NOTED.
2. SEE DRAWING FOR FINISHES.
3. SEE DRAWING FOR FINISHES.
4. SEE DRAWING FOR FINISHES.
5. SEE DRAWING FOR FINISHES.
6. SEE DRAWING FOR FINISHES.

FINISH KEY

FINISH 1 (SEE KEY)	TO BE DETERMINE
SOLID SURFACE (SEE KEY)	TO BE DETERMINE
WOOD FLOOR (SEE KEY)	TO BE DETERMINE
PLASTIC LAMINATE (SEE KEY)	TO BE DETERMINE

RENOVATION KEY NOTES

- BASINETS**
- R1 AFTER REMOVAL OF SITS, CLEAN TUBS, 1/4" THICK, 1/4" DIA. TUBS TO WATER & WASTEWATER SYSTEM.
 - R2 PROVIDE TUBS ON CLEAN MASONRY WALL.
 - R3 PROVIDE NEW ALUMINUM TUBS, ALLOWANCE IS FOR 1/4" DIA. TUBS.
 - R4 REPLACE SITS IN TUBS.
- FINISHES**
- R4 NEW CONCRETE FLOOR FINISHES PROVIDE NEW CONCRETE GRADE 4" MIN. THICK VET. COVER BY OWNER.
 - R5 PROVIDE 1/2" GYP BOARD OVER EXISTING FINISHES.
 - R6 PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES: 2 HOLE, 1/2" ALUMINUM, 2 HOLE, 1/2" ALUMINUM SHALL INCLUDE ALL TO LET ACCESSORIES, ASSOCIATED PLUMBING TO WALL AND ON FLOOR COVERINGS. PROVIDE NEW FINISHES: COMMERCIAL GRADE 1/8" THICK VET. COVER, 1/2" GYP BOARD, PRIME & PAINT OF COLOR WALLS AND CPT BOARD.
 - R7 NEW FINISHES: LAMINATE FLOORING OVER ALL EXISTING FINISHES. PROVIDE NEW INSTALLATION FOR 2 1/2" DIA. TUBS TO WATER & WASTEWATER SYSTEM. PROVIDE NEW INSTALLATION FOR 2 1/2" DIA. TUBS TO WATER & WASTEWATER SYSTEM. PROVIDE NEW FINISHES: COMMERCIAL GRADE 1/8" THICK VET. COVER, 1/2" GYP BOARD, PRIME & PAINT OF COLOR WALLS AND CPT BOARD.
 - R8 NEW FINISHES: LAMINATE FLOORING OVER ALL EXISTING FINISHES. PROVIDE NEW INSTALLATION FOR 2 1/2" DIA. TUBS TO WATER & WASTEWATER SYSTEM. PROVIDE NEW FINISHES: COMMERCIAL GRADE 1/8" THICK VET. COVER, 1/2" GYP BOARD, PRIME & PAINT OF COLOR WALLS AND CPT BOARD.
 - R9 NEW FINISHES: LAMINATE FLOORING OVER ALL EXISTING FINISHES. PROVIDE NEW INSTALLATION FOR 2 1/2" DIA. TUBS TO WATER & WASTEWATER SYSTEM. PROVIDE NEW FINISHES: COMMERCIAL GRADE 1/8" THICK VET. COVER, 1/2" GYP BOARD, PRIME & PAINT OF COLOR WALLS AND CPT BOARD.
 - R10 NEW FINISHES: LAMINATE FLOORING OVER ALL EXISTING FINISHES. PROVIDE NEW INSTALLATION FOR 2 1/2" DIA. TUBS TO WATER & WASTEWATER SYSTEM. PROVIDE NEW FINISHES: COMMERCIAL GRADE 1/8" THICK VET. COVER, 1/2" GYP BOARD, PRIME & PAINT OF COLOR WALLS AND CPT BOARD.
- Mechanical**
- R11 ALTERNATE 1: REPLACE EXISTING WITH NEW EFFICIENT ROOFERS NEW GUY ROOFER WITH NEW ALL NECESSARY LEAK REPAIRS FOR CORRECTION AND MAINTENANCE. ALL WORK TO BE COMPLETED BY THE OWNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.
 - R12 ROOF: ALTERNATE 1: REPLACE EXISTING WITH NEW EFFICIENT ROOFERS NEW GUY ROOFER WITH NEW ALL NECESSARY LEAK REPAIRS FOR CORRECTION AND MAINTENANCE. ALL WORK TO BE COMPLETED BY THE OWNER PART AND ADDING CONTROL POINTS TO IMPROVE EFFICIENCY.
- UPGRADE EXISTING EMS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL DEVICES. UPGRADE THE SYSTEM TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.**
- ADD SAFETY TAGS IN THE PARAPET LEDGE.**
- ALTERNATE 2: UPGRADE TO RUMBY BY REMOVING THE RUMBY TO RAIL HEATING AND INSTALL A NEW HEATER FOR THE COOLING FOR THE PIPING CONNECTING THE COOLING COIL TO RUMBY TO RESOLVE THE LEAKING OUT FROM THE COOLING COILS.**
- REPLACE CONTROL'S REPLACE AND ADD SENSORS TO IMPROVE EMS.**
- UPGRADE EXISTING EMS BY ADDING CONTROL POINTS REPLACING NON FUNCTIONAL DEVICES. UPGRADE THE SYSTEM TO ADD FUNCTIONALITY REUSE AS MUCH AS POSSIBLE ALL HARDWARE COMPONENTS THAT ARE FUNCTIONAL.**
- ADD SAFETY TAGS IN THE PARAPET LEDGE.**



JUVENILE DETENTION CENTER
 3900 S. CALIFORNIA AVE.
 CHICAGO, IL 60602

ASSETS, INFORMATION AND SERVICES
 CITY OF CHICAGO, COMMISSIONER DAVID RICHARDS

Architect / Engineer of Record:
 THE HOH GROUP, INC.

THE HOH GROUP, INC.
 400 N. LA SALLE ST.

FOR PROJECT CLIENT:
 REMAINING DESIGN WORK
 WWW.HOHGROUP.COM

NAME:
 Chicago, IL
 Structural Engineers of Record

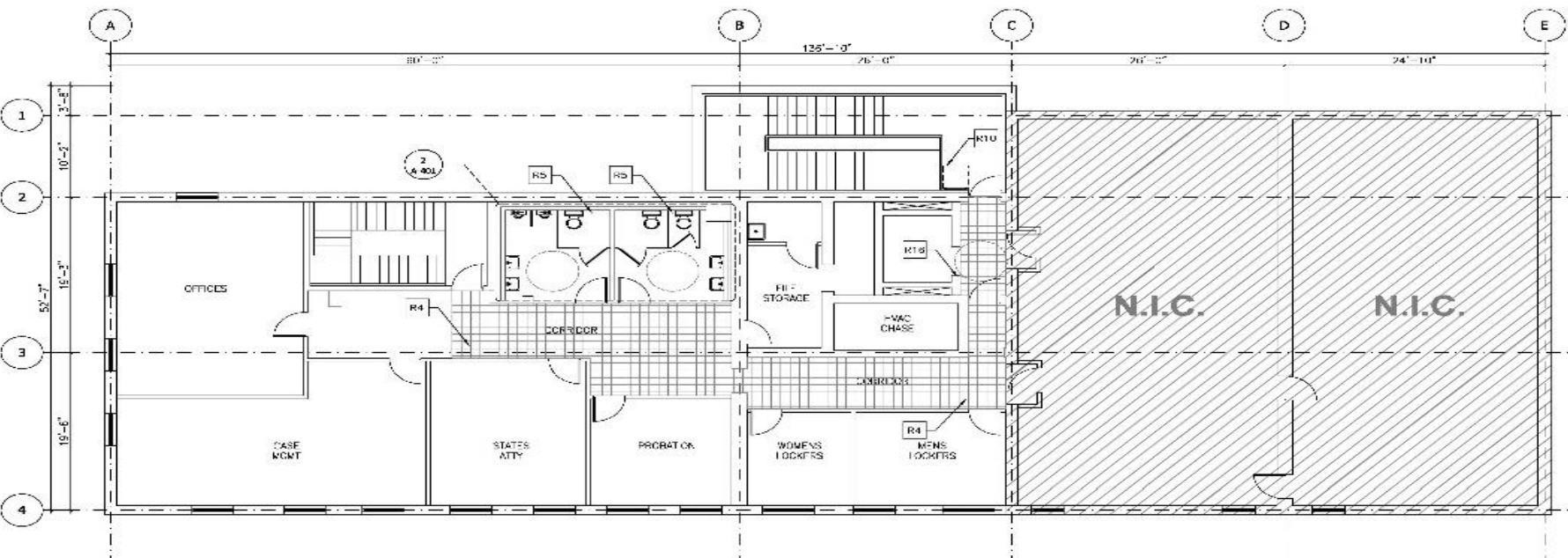
NAME:
 Chicago, IL
 Civil Engineers of Record

NAME:
 Chicago, IL
 MEP/P E Engineers of Record

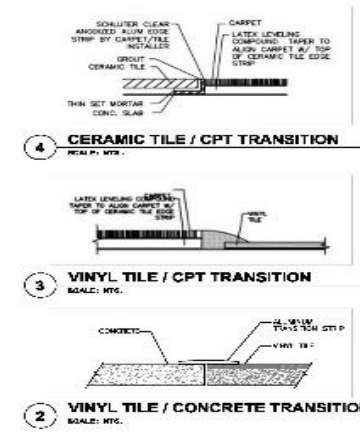
NAME:
 Chicago, IL
 Acoustic Consultant

NAME:
 Chicago, IL
 Theatrical Consultant

NAME:
 Chicago, IL
 Food Service Consultant



1 THIRD FLOOR PLAN RENOVATION
 SCALE: 3/16" = 1'-0"



DATE	USER	DESCRIPTION	DATE

REVISIONS: 01/15/2018 BY: RICHARDS
 NO. 0000
 PROJECT NO. 103R

THIRD FLOOR PLAN RENOVATION

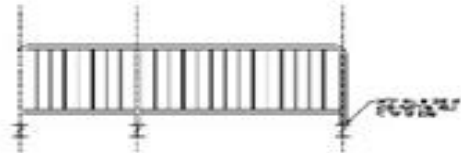
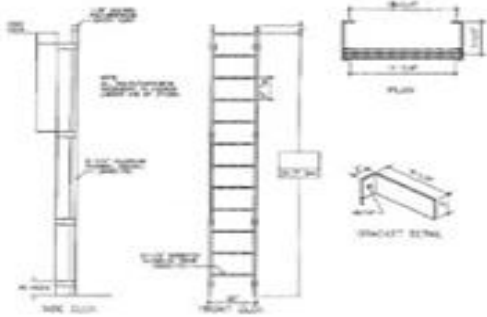
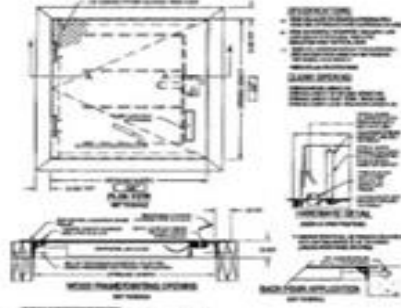
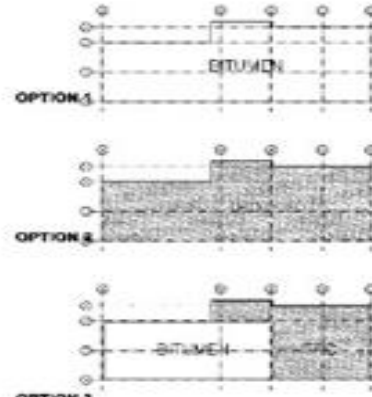
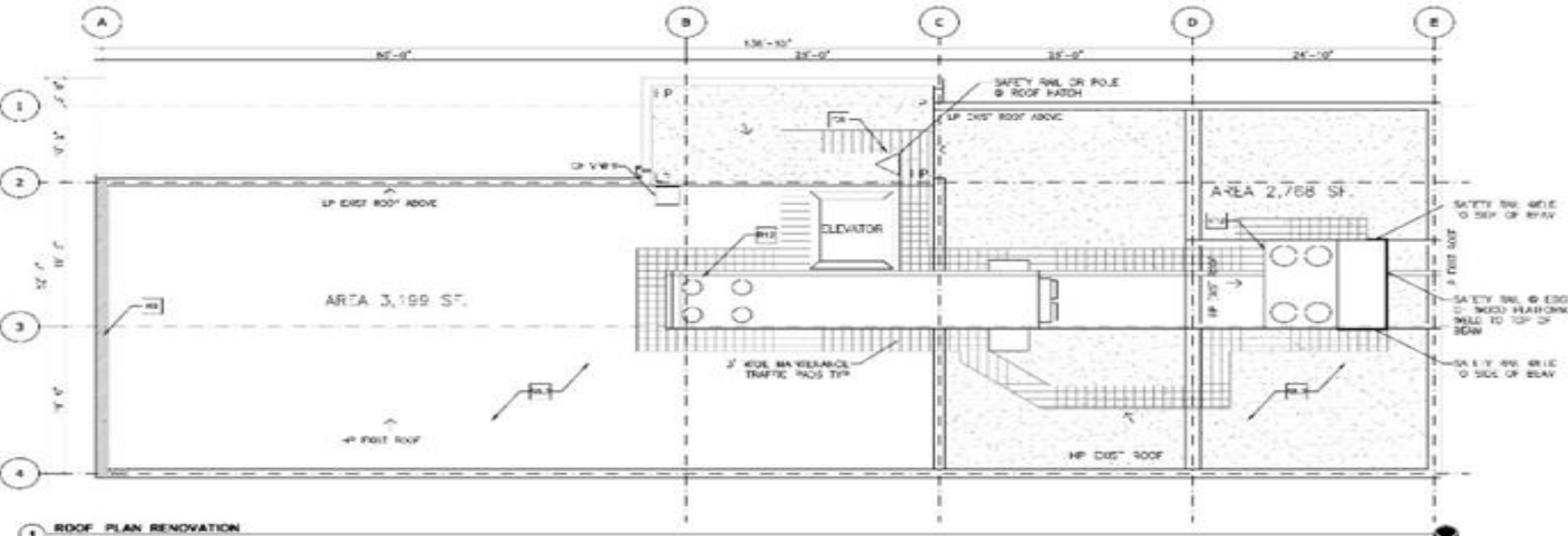
Sheet **A-103R**

EXIT SUMMARY

AREA 1 EAST SIDE ROOF	
AREA 2 WEST SIDE ROOF	
AREA 3 EAST SIDE ROOF	
AREA 4 WEST SIDE ROOF	
AREA 5 EAST SIDE ROOF	
AREA 6 WEST SIDE ROOF	

GENERAL NOTES

1. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 CHICAGO BUILDING CODE (CBC) AND THE 2015 CHICAGO ELECTRICAL CODE (CEC).
2. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 CHICAGO MECHANICAL CODE (CMC) AND THE 2015 CHICAGO PLUMBING CODE (CPC).
3. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 CHICAGO FIRE CODE (CFC).
4. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 CHICAGO SAFETY CODE (CSC).

**5 SAFETY RAIL ELEVATION**
SCALE: 1/8" = 1'-0"**2 LADDER DETAILS**
SCALE: 1/8" = 1'-0"**3 HATCH DETAILS**
SCALE: 1/8" = 1'-0"**4 NEW ROOFING SYSTEM OPTIONS**
SCALE: 1/8" = 1'-0"**1 ROOF PLAN RENOVATION**
SCALE: 1/8" = 1'-0"**RENOVATION KEY NOTES**

1. REMOVE EXISTING ROOFING SYSTEM THOROUGHLY WITH WATER AND AIR BLASTING.
2. PROVIDE NEW FLOORING ON ALL INTERIOR AREAS.
3. PROVIDE NEW FLOORING ON ALL INTERIOR AREAS.
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50. PROVIDE NEW FLOORING ON ALL INTERIOR AREAS.



JUVENILE DETENTION CENTER
3000 S. CALIFORNIA AVE.
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Architect/Engineer of Record
THE HCH GROUP, INC.

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300 N. LAUREL STREET
CHICAGO, IL 60610
WWW.HCHGROUP.COM

SCALE: 1/8" = 1'-0"
Structural Engineers of Record

SCALE: 1/8" = 1'-0"
Landscape Architects of Record

SCALE: 1/8" = 1'-0"
Mechanical Engineers of Record

SCALE: 1/8" = 1'-0"
Electrical Engineers of Record

SCALE: 1/8" = 1'-0"
Fire Protection Engineers of Record

SCALE: 1/8" = 1'-0"
Civil Engineers of Record

SCALE: 1/8" = 1'-0"
Professional Seal/Stamp/Signature

SCALE: 1/8" = 1'-0"
Professional Seal/Stamp/Signature

SCALE: 1/8" = 1'-0"
Professional Seal/Stamp/Signature

SCALE: 1/8" = 1'-0"
Professional Seal/Stamp/Signature



**JUVENILE INVENTION
& SUPPORT CENTER**
3900 S. California



Cost Estimate

COST SUMMARY		N/A	GSF	\$/SF	BUILDING TOTAL
01000	GENERAL REQUIREMENTS				\$0
02000	EXISTING CONDITIONS				\$0
03000	CONCRETE				\$0
04000	MASONRY				\$16,532
05000	METALS				\$0
06000	WOODS, PLASTICS & COMPOSITES				\$0
07000	THERMAL & MOISTURE PROTECTION SYSTEM				\$174,504
08000	OPENINGS				\$17,608
09000	FINISHES				\$57,535
10000	SPECIALTIES				\$37,404
11000	EQUIPMENT				\$0
12000	FURNISHINGS				\$0
13000	SPECIAL CONSTRUCTION				\$0
14000	CONVEYING EQUIPMENT				\$0
21000	FIRE SUPPRESSION				\$0
22000	PLUMBING				\$79,955
23000	HEATING, VENTILATING & AIR CONDITIONING				\$267,507
26000	ELECTRICAL				\$63,643
27000	COMMUNICATIONS				\$0
28000	ELECTRONIC SAFETY AND SECURITY				\$0
31000	EARTHWORK				\$0
32000	EXTERIOR IMPROVEMENTS				\$0
33000	UTILITIES				\$0
SUBTOTAL					\$714,689



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SOLE POINT OF CONTACT:

Patricia Montenegro

patricia.montenegro@cityofchicago.org

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Q & A

